

12.6 Post exhibition endorsement: Topic 12.7 Kiama Town Centre of Kiama DCP 2020 and preparation of Planning Proposal to amend Kiama LEP 2011

CSP Objective: Outcome 10: We love where we live our housing reflects our values

CSP Strategy: 10.3 Create a built environment that is safe and inclusive and our infrastructure is well planned and well managed

Delivery Program: 10.3.1 Ensure Council's planning systems and processes are contemporary and transparent

Summary

The Local Strategic Planning Statement (Kiama LSPS) is a 20-year planning vision, for the Kiama LGA. It sets out land use, transport and sustainability objectives in alignment with the directions set out by the Illawarra-Shoalhaven Regional Plan. The document also outlines planning priorities and actions that inform the comprehensive reviews of Kiama LEP 2011 and Kiama DCP 2020.

Council is conducting a comprehensive review of the development controls that apply to the Kiama Town Centre. The purpose of our DCP review is to make Kiama a dynamic and activated place to live and work, not just for today but for future generations. The review will ensure that our controls are appropriate and help to achieve good planning outcomes, sustainable urban design, improved quality of life, opportunity and economic growth within the Kiama Town Centre.

At the Ordinary meeting held on 17 September 2019, Council endorsed the Kiama Town Centre Study (KTCS) as a guiding document for future strategic planning and plan making functions. The Study included 47 recommended actions, which were prioritised to include the LEP Heritage Review and the DCP Review for the Kiama Town Centre.

At the Ordinary meeting held on 15 February 2022, Council resolved to seek community feedback regarding the Kiama Town Centre Review.

Studio GL prepared a draft Topic 12.7 – Kiama Town Centre of Kiama DCP 2020, Kiama DCP Review Summary Report and Kiama Town Centre Feasibility Analysis.

These documents were exhibited from 28 February 2022 to 28 March 2022 in accordance with the with the Kiama Community Participation Plan 2019.

Following the closure of the formal exhibition process, Studio GL and Council staff have made the necessary amendments in response to the community feedback received prior to reporting the final Topic 12.7 of the Kiama DCP 2020 back to Council.

Financial implication

The projects discussed in this report have all been budgeted for within the current and future financial year. Additional budget will need to be considered on a case-by-case basis as part of the annual budget process, to support ongoing implementation of future recommendations and priorities.

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Risk implication

Failure to finalise the DCP Review program will result in a reputational risk to the organisation.

By not finalising the DCP Review program assessment of development applications will continue to be made using incomplete information and against outdated and inappropriate controls. This could result in litigation risks for the organisation as well as poor planning and built form outcomes for the community.

Policy

The Kiama Local Strategic Planning Statement (LSPS) 2020 contains actions to enact appropriate recommendations of the Kiama Town Centre Study.

Consultation (internal)

Studio GL conducted an internal workshop as part of the Kiama Town Centre DCP Review.

As part of finalising the DCP Council's Strategic Planning team consulted internally with the Development Assessment, Commercial Service, and Design & Development (including Landscape) teams.

Communication/Community engagementWorkshops

Several external workshops were held as part of the Kiama Town Centre DCP Review.

Studio GL held 4 workshops in 2020 with between 9 to 15 participants in each. The workshops sought feedback regarding eight key themes and categories for controls: active frontages, setbacks, bulk & scale (including street wall height), facades & exteriors, views & vistas, amenity (including landscape, lighting & public art), parking and access, advertising & signage, and sustainable design

Review Group

A 'community review panel' was formed which reviewed the deliverables from Studio GL and provided input. Two (2) workshops were held with the review panel in December 2021.

Exhibition

Council exhibited the draft Topic 12.7 of the Kiama DCP 2020, Kiama DCP Review Summary Report and Kiama Town Centre Feasibility Analysis from 28 February 2022 to 28 March 2022 in accordance with the Kiama Community Participation Plan 2019 to seek community feedback.

Submissions

During the exhibition period, Council received 124 submissions. Of these:

- 19 submissions supported heights of 4 storeys and/or more; including the Akuna Street site;

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- 104 submissions supported the existing heights controls of 3 storeys, including for the Akuna Street site;
 - and 15 of the above submissions mentioned Arts.

Submissions are outlined further in the attached Engagement Summary and background section of this report.

Attachments

- 1 Community Engagement Summary - Kiama Town Centre DCP
- 2 Kiama Town Centre - Akuna Street Options Study
- 3 Kiama Development Control Plan 2020 - Topic 12.7 - Kiama Town Centre

Enclosures

Nil

RECOMMENDATION

That Council:

1. Adopt and publish on the Council's website the enclosed Topic 12.7 – Kiama Town Centre of the Kiama Development Control Plan 2020 (as attached to this report)
2. Prepare a Planning Proposal to Sheet HOB_012 of the *Kiama Local Environmental Plan 2011* to increase the maximum height of buildings permitted:
 - a. Along the southern side of Terralong Street, between Thomson Street and Collins Street, to 14m, (as shown on Figure 15 of the attached Kiama Development Control Plan).
 - b. Parts of Kiama Centrepont Shopping Mall, to 14m, (as shown on Figure 41 of the attached Kiama Development Control Plan).
 - c. Parts of the Akuna Street strategic site, to 14m, 17m and 21m (as shown on Figure 29 of the attached Kiama Development Control Plan).
3. Prepare a Planning Proposal to Sheet FSR_012 of the *Kiama Local Environmental Plan 2011* to increase the maximum floor space ratio permitted:
 - a. Along the southern side of Terralong Street, between Thomson Street and Collins Street, to 2:1, (as shown on Figure 15 of the attached Kiama Development Control Plan).
 - b. Parts of Kiama Centrepont Shopping Mall, to 2:1, (as shown on Figure 41 of the attached Kiama Development Control Plan).
 - c. Parts of the Akuna Street strategic site, to 2:1, 2.5:1 and 3:1 (as shown on Figure 29 of the attached Kiama Development Control Plan).

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4. Prepare a Planning Proposal to amend clause 6.8 of the *Kiama Local Environmental Plan 2011* to outline that the active street frontage development standards, within the Kiama Town Centre, only apply to the areas marked as 'primary active frontages' in Figure 11 of the attached Kiama Development Control Plan.
 5. Prepare a Planning Proposal to amend clause 6.8 of the *Kiama Local Environmental Plan 2011* to rezone Lot 154 DP 751279, 72 Manning Street (i.e. Silica Restaurant) from RE1 Public Recreation to B2 Local Centre and apply a 11m maximum building height and a floor space ratio of 1.5:1.
 6. Submit the above Planning Proposal/s to the NSW Department of Planning & Environment for a Gateway Determination.
 7. Undertake consultation with relevant State agencies and the community in accordance with the Gateway Determination and the Kiama Community Participation Plan 2019.
 8. Following consultation prepare a future report to enable the elected Council to formally make the above amendments to the *Kiama Local Environmental Plan 2011*.
 9. Notify those who made submissions of this resolution.

KAMA TOWN CENTRE REVIEW

The Kiama Town Centre review will ensure that our controls are appropriate and help to achieve good planning outcomes, sustainable urban design, improved quality of life, opportunity and economic growth within the Kiama Town Centre.

Engaged Studio GL

Studio GL was appointed to review Topic 12.7 – Kiama Town Centre of the Kiama DCP and provide new controls for the Centre, including Location Specific Controls, Character Statements and controls for Key Strategic Sites.

In early 2020, Studio GL engaged with Council staff, landowners, community, stakeholders and developers to inform the review of the Kiama Town Centre development controls. Community consultation workshops were held via Microsoft Teams due to the impacts of COVID-19 at the time.

Studio GL - Community Workshops

Studio GL held 4 workshops with between 9 to 15 participants in each. The following feedback was received:

- i. The community places high value on the heritage charm and seaside location of the Kiama Town Centre.
- ii. Traffic congestion and parking was a main concern, along with pressure for development due to potential impacts on views and larger developments appearing 'out of scale'.

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- iii. Suggestions for future improvements included access and movement, built environment, public domain and open space.

Feedback regarding maximum building heights included:

- i. Preference for a two storey street wall with a 3rd storey setback although some sites outside the heritage core could have a 3 storey street wall.
- ii. Three-storey wall height with no setback is preferred for Terralong Street (instead of two storey plus setback) as the main streets are wide and need to maintain visual balance of street height to road reserve. For other streets within the Town Centre, a two-storey street wall with setback.

Studio GL Deliverables - Draft DCP

Studio GL prepared the draft Topic 12.7 Kiama Town Centre document which contains development controls specific to the KTC.

The document also outlines Key Strategic Sites that were identified throughout the Town Centre (predominately corner sites) which have location specific controls.

Originally, building heights varied up to 3 storeys, with the exception of Akuna Street which proposed 5 storeys.

Community Consultation**Community Reference Group**

In December 2021, Council held 2 workshops with 15 members of the community review panel. Positive feedback was received for a majority of the draft documents prepared by Studio GL. The Community Review Panel gave feedback that a 3rd storey was a limitation to feasible development and that a further additional, recessed storey (where suitable) would be more viable, tasteful, feasible and consistent with other regional towns.

As a result, amendments were made to the draft Topic 12.7 document that proposed a further increase to maximum building heights and setbacks.

Amendments made to DCP

Following these workshops, Council liaised with Studio GL and provided a list of the key strategic sites that could potentially warrant a fourth storey and requested updated figures to demonstrate this increase in building height.

Studio GL updated the DCP to show four storeys across the Town Centre. The following street wall (i.e. the height of the building on the street boundary) were proposed within the updated DCP:

- 4 Storey Street Wall
 - Terralong Street, between Meares Place and Collins Street, and
 - Manning Street, between Bong Bong Street and Farmer Street
- 3 Storey Street Wall

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- Collins Street, between Minnamurra Street and Akuna Street, and
 - Terralong Street, between Collins Street and Railway Parade
 - 2 Storey Street Wall
 - Manning Street, between Terralong Street and Bong Bong Street

The objective to increase the heights, and therefore densities, within the Town Centre is consistent with Kiama Local Strategic Planning Statement (LSPS) 2020.

Public Exhibition

At the Ordinary meeting held on 15 February 2022, Council endorsed to seek community feedback regarding the Kiama Town Centre Review. Following the closure of the formal exhibition process, necessary amendments were required to be made prior to reporting the final Topic 12.7 of Kiama DCP 2020 back to Council, and a draft Planning Proposal to undertake necessary amendments to Kiama LEP 2011.

The following documents were exhibited from 28 February 2022 to 28 March 2022 in accordance with the Kiama Community Participation Plan 2019:

- Kiama DCP Review Summary Report
- Kiama Town Centre Feasibility Analysis
- Draft Topic 12.7 – Kiama Town Centre of the Kiama DCP 2020

Following the exhibition period, Council received 124 submissions.

Submissions are outlined further in the attached Engagement Summary and expanded on below.

Analysis of Community Feedback

The community concerns have been grouped into 3 categories; height, permitted uses and strategic/prominent sites.

Community Concerns	Staff Response
Height	
<u>General</u> The following feedback was received in relation to maximum building heights; <ul style="list-style-type: none"> i. A large portion of submissions supported 3 storey building heights, however no further height beyond this. ii. A smaller portion of submissions supported 4 storey building 	It is to be noted, that a significant number of submissions incorrectly assumed that the maximum building height is 2 storeys as this is the predominate height with the town centre. Currently an 11m maximum building height is applicable along Terralong Street, and throughout the Town Centre. Therefore, the existing two-storey buildings are currently permitted

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Community Concerns	Staff Response
<p>heights in some areas, however no further height beyond this.</p> <p>iii. A large portion of submissions related to the Akuna Street Strategic Site and its proposed building height. With many people seeking that the building did not exceed 4 storeys in height.</p>	<p>to increase to 3 storeys following development approval, in accordance with the existing LEP and DCP controls.</p> <p>Amendments have been made to the draft DCP as exhibited (refer to below).</p>
<p><u>Loss of Character</u></p> <p>i. The character of Kiama will change from Coastal Village seaside town to become more like Shellharbour and the Gold Coast.</p> <p>ii. Tourists are attracted to Kiama because of the way it is, the views, its character and heritage.</p>	<p>Amendments in maximum building heights have been made to reduce bulk, scale, overshadowing and impacts on privacy and amenity. This is demonstrated through the redesign of the Akuna Street site and the reduction of the 4th storey in certain sections of Terralong Street. Where increased heights are proposed, these heights fit in with the topography and/or are located in key locations to public infrastructure, services and facilities.</p>
<p><u>Parking & Traffic</u></p> <p>i. There are already parking issues in the KTC</p> <p>ii. The Akuna Street site will compromise existing parking sites</p> <p>iii. The Akuna Street Site should have been a multi-level car park</p> <p>iv. Increased densities will increase traffic congestion in the KTC</p> <p>v. High chance of traffic lights which will further increase congestion</p>	<p>Council is currently reviewing/finalising the Kiama Traffic Study which seeks to analyse the capacity of the existing road network to accommodate the future growth, as identified by the NSW Population Projections. The findings and recommendations of this Study will ensure that future growth is suitable catered for within the road network.</p> <p>Concerns regarding the loss of public carpark with the sale of the Akuna Street strategic site are noted. The DCP requires the provision of carparking required to accommodate future development on the site.</p> <p>The program to review and update Council's Local Infrastructure Contributions Plans will also enable Council to levy applicants towards the provision of new public carparking facilities.</p>

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Community Concerns	Staff Response
<p><u>Infrastructure</u></p> <ul style="list-style-type: none"> i. Water and wastewater systems will not cope with the increased density ii. Public infrastructure such as roads and footpaths will not cope with the increased density and are already in poor condition. 	<p>The population projections have been published. Sydney Water is aware of the growth that is required in the Kiama LGA. Therefore, Sydney Water's existing infrastructure systems will be upgraded to facilitate this growth.</p> <p>Council is currently preparing an Open Space & Recreation Strategy to ensure it provides sufficient and appropriate open space and recreation facilities for the projected population.</p> <p>The recently adopted Kiama Community Strategic Plan 2022-2032 outlines the need to develop Asset Management Plans for footpaths and cycleways within the Town Centre.</p>
<p><u>Lack of justification</u></p> <ul style="list-style-type: none"> i. There is no housing strategy that assumes additional residential space is required ii. No policy to warrant the proposal of increased heights 	<p>Whilst Council is recommending height increases, this does not equate to residential housing. Although the Housing Strategy will be published soon which demonstrates a need for further housing which could be facilitated in some parts of KTC in the future. Nationally, throughout the State and region there is significant evidence to demonstrate acute housing supply issues.</p> <p>The objective to increase the heights, and therefore densities, within the Town Centre is consistent with Kiama Local Strategic Planning Statement (LSPS) 2020.</p>
Permitted Uses	
<p>Some submissions sought for the DCP to identify and make provisions for specific uses, including but not limited to:</p>	<p>The LEP is the mechanism for facilitating Land Uses, we are not proposing to amend any land uses permissible in the zones, however many of these are already permissible. The</p>

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Community Concerns	Staff Response
	<p>Kiama Town Centre DCP review only serves to amend the DCP, not the LEP.</p> <p>The DCP is a <i>design guideline</i> for future development. Therefore, it provides controls for proposed developments that are permissible within a zone.</p>
<u>Additional supermarket</u>	See above.
<p><u>Arts & entertainment precinct</u></p> <p>Dissatisfaction that Arts and Entertainment were excluded from the DCP.</p> <p>Submissions were received to retain the Kiama Independent building and to revitalise this building as an Arts precinct.</p>	<p>The key strategic sites that were identified throughout the review process were identified as sites with additional development controls to help guide better development outcomes. The use of these sites would be required to be a permitted use and would be the responsibility of the property owner. Should a strategic site, or any site in the town Centre wish to incorporate some kind of Arts or museum within its building that is up to the property owner.</p> <p>Council has previously resolved to sell this site (inclusive of any buildings). This is a separate process and a review of the DCP is not a means for intended use of sites within the Kiama Town Centre.</p>
<u>Kiama Harbor</u>	<p>The DCP intentionally excludes the Kiama Harbor area as this is predominately owned by Crown Lands and managed under the soon to be adopted Plan of Management. Therefore, the DCP does not apply to Kiama Harbor.</p>
<p><u>Noise</u></p> <p>Concerns that residential development within Town Centre is reducing the viability of entertainment and hospitality venues.</p>	<p>References to “The Wollongong Approach” were made by several submissions. Previously, Wollongong City Council incorporated acoustic privacy conditions within their DCP.</p> <p>Amendments have been made to the draft DCP as exhibited (refer to below)</p>

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Community Concerns	Staff Response
	to introduce noise attenuation for new residential development.
<p><u>Development on public land</u></p> <p>Concerns that the draft DCP did not contain controls relating to footpaths, street furniture etc.</p>	<p>The <i>State Environmental Planning Policy (Infrastructure and Transport)</i> 2021 allows Council to undertake most works without the need for the development application process.</p> <p>It is recommended that Council require a strategy that ensures that development on public land is consistent with development on private land.</p>
Strategic/prominent sites	
<p><u>Akuna Street strategic site</u></p> <p>Concerns were received regarding the timing of the sale of the site and recommended height increases. Specific concerns regarding the additional height result in overshadowing and view loss.</p>	<p>With this feedback in mind, Studio GL prepared an Akuna Street Study Report (attached) which provides 4 design options with varying heights for the site. Please refer to the attached Report to view these options.</p> <p>Amendments have been made to the draft DCP as exhibited (refer to below).</p>
<p><u>Kiama Surf Club</u></p> <p>Concerns were raised that until a Coastal Management Plan (CMP) had been completed that no future development should be undertaken at the Surf Club.</p>	<p>Yes, the completion of the CMP will result in changes to the SEPP which will filter down to the DCP, that expressly deal with development in Coastal Zones.</p> <p>The submissions around the surf club are very valuable. However, the DCP does not override any eventual SEPP layers. The result of Council's CMP process will overlay the area. If Council were to receive a development application for what looks like is in the DCP it will still need to comply with what is in the SEPP.</p> <p>State Environmental Planning Policy (SEPP) Resilience and Hazards 2021, Clause 2.9 Coastal Vulnerability Area, applies to this site. This clause relates</p>

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Community Concerns	Staff Response
	<p>to development on land within a coastal vulnerability area and provides additional protection to the site.</p> <p>The DCP is a mechanism for design outcomes. The State Environmental Planning Policy (SEPP) outlines the engineering details that are required. One is not at the odds of the other.</p>

Amendments made following analysis of submissions

Clause 14 of the *Environmental Planning and Assessment Regulation 2021* outlines that following the consideration of any submissions about the draft DCP Council may approve the plan with any alterations the council considers appropriate.

The following amendments have been made to address some of the concerns raised by the community.

Heights - Generally

The maximum building heights have been reverted to the existing height control of 11m (3 storeys) within Town Centre apart from (refer to Figure 1 below):

- The southern side of Terralong Street, between Thomson Street and Collins Street;
- Parts of Kiama Centrepont Shopping Mall, and
- The Akuna Street strategic site.

The Kiama Local Strategic Planning Statement (LSPS) 2020 contains the following action:

Facilitate higher density development as recommended by the Kiama Town Centre Study through the review and amendment of Development Controls within the study area.

It is a widely adopted best-practice planning approach to facilitate and encourage densities within proximity to public and commercial services.

The southern side of Terralong Street, between Thomson Street and Collins Street (i.e the Westend Precinct), already presents as a taller streetscape compared to other areas within the Town Centre. Giving the rising topography behind this area the proposed additional height will not result in any view loss or overshadowing issues.

The Kiama Centrepont Shopping Mall acts as a transition zone between the Westend Precinct, the Akuna Street strategic site and the remainder of the Town Centre. The attached DCP recommends permitting four (4) storeys on the corner of this site and then reducing the height to three (3) storeys for the remainder of the site.

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The Akuna Street strategic site is discussed in detail below.

It is noted that a Planning Proposal will need to be prepared to amend the *Kiama Local Environmental Plan 2011* to enact these height and associated floor space ratio changes.

The figure below shows the amendments to maximum building heights and street wall heights throughout the study area.

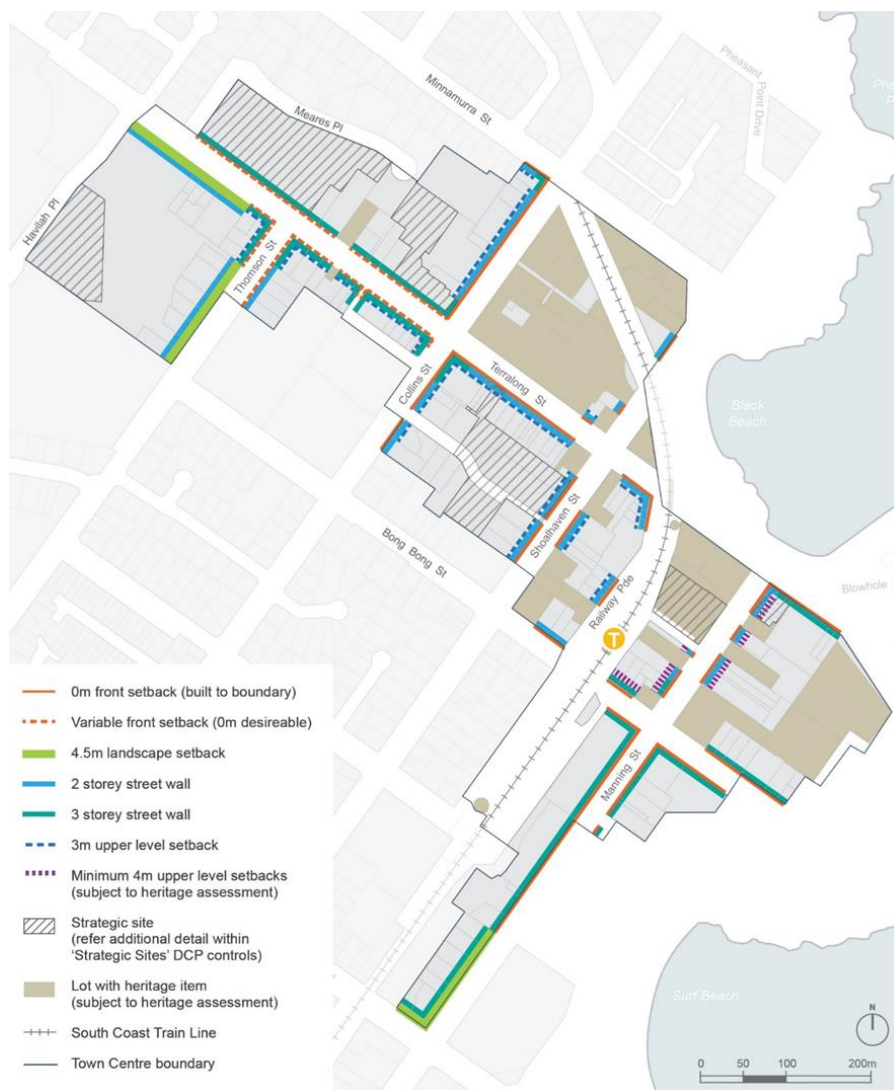


Figure 1: Street wall and setbacks control plan

Akuna Street Strategic Site

The strategic site of Akuna Street has been identified for the positive key opportunities for the Kiama Town Centre resulting from redevelopment of the site.

How people access and move around a place is fundamental to its success. The more connected and finer grain the networks of streets, lanes and pedestrian links are, the more efficiently these links can operate.

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A focus for Kiama's future is to improve the permeability of urban structure over time and improve access and movement.

Height was the most prevalent concern that the community have with this site.

When developing the DCP, the Consultant undertook community workshops. The community supported heights of 3 storeys with the upper level was recessed back, however did not support height above this.

Suggestions for future improvements provided by attendees included access and movement, built environment, public domain and open space.

Following public exhibition mixed feedback was received. Not all community submissions were against 4 storey heights, however it was noted that these be located in certain areas such as the Westend Precinct where the increased heights are more suitable to existing development, do not impact on the character, view loss or character of the area.

With this feedback in mind, Studio GL prepared an Akuna Street Study Report which provides 4 design options with varying heights for the site. Please refer to the attached Report to view these options.

Studio GL has recommended Option C. The justification for this recommendation is provided in the study and further below. The height increase in portions of Akuna Street are justified as this will provide for the straightening of roads, pedestrian linkages and the provision of public open space. For a developer to be able to make these improvements to public infrastructure, Option C or Option D would need to be adopted. Option C takes a balanced approach and is outlined in the figures below.

Option C provides a mix of 3 to 6 storeys distributed across the site. This option allows for the retention of existing trees, inclusion of rear laneway access, provision of public infrastructure and straightening of the Akuna Street road reserve and pedestrian walkways. The design sits in with the topography of the land to reduce impacts on amenity, view loss, overshadowing and bulk and scale.

The proposed bulk and scale is focused around the centre of the site with lower building heights along the sensitive interfaces towards Shoalhaven Street and Bong Bong Street. A 6m setback is recommended along the existing neighbours' boundaries to provide opportunities for landscaping and help to reduce overshadowing and privacy impacts. A two storey street wall is proposed along Shoalhaven Street to continue the proposed street wall height within the Harbourside Precinct.

It is recommended that any additional storeys over 4 storeys, considers view sharing and view loss for the existing neighbours, particularly for Bong Bong Street properties to the rear of the site. To the south of Akuna Street, an 'L' shaped built form has been suggested to help reduce impacts on neighbour's views from 10 Akuna Street, however additional storeys may be considered subject to detailed view analysis based on accurate site surveys.

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Figure 2: Proposed DCP diagram – Akuna Street Strategic Site

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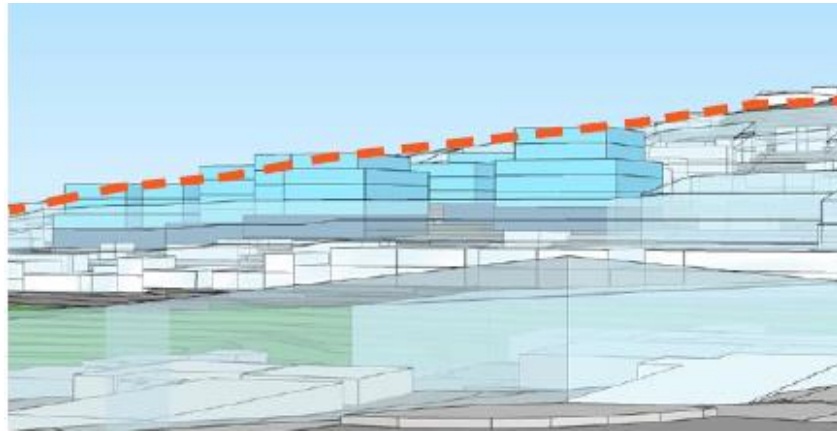
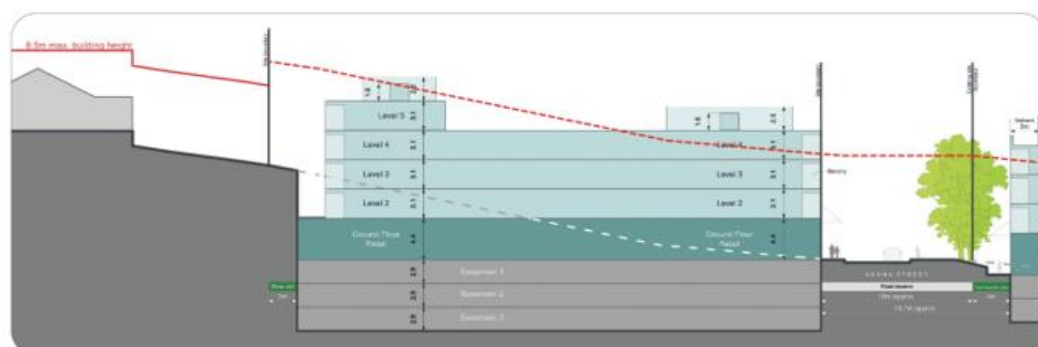


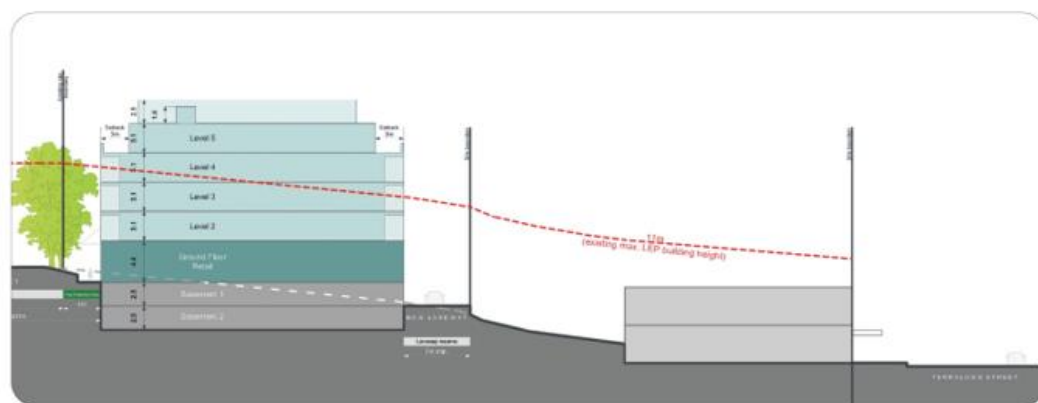
Figure 3: The built form of Option C follows the topography of the region and steps downwards to Shoalhaven St

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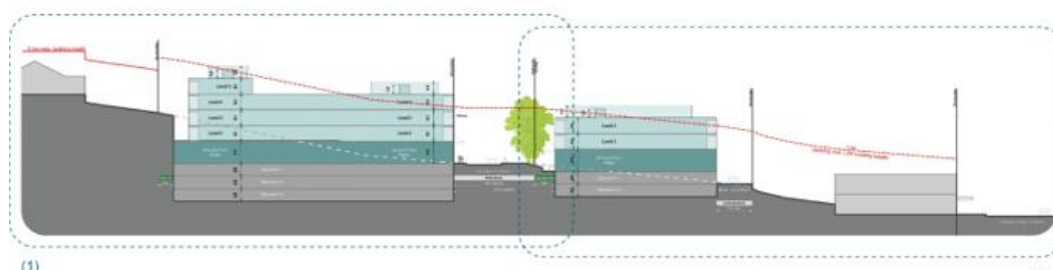
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(1)



(2)



(1)

Figure 4: Akuna Street Built Envelope Section A

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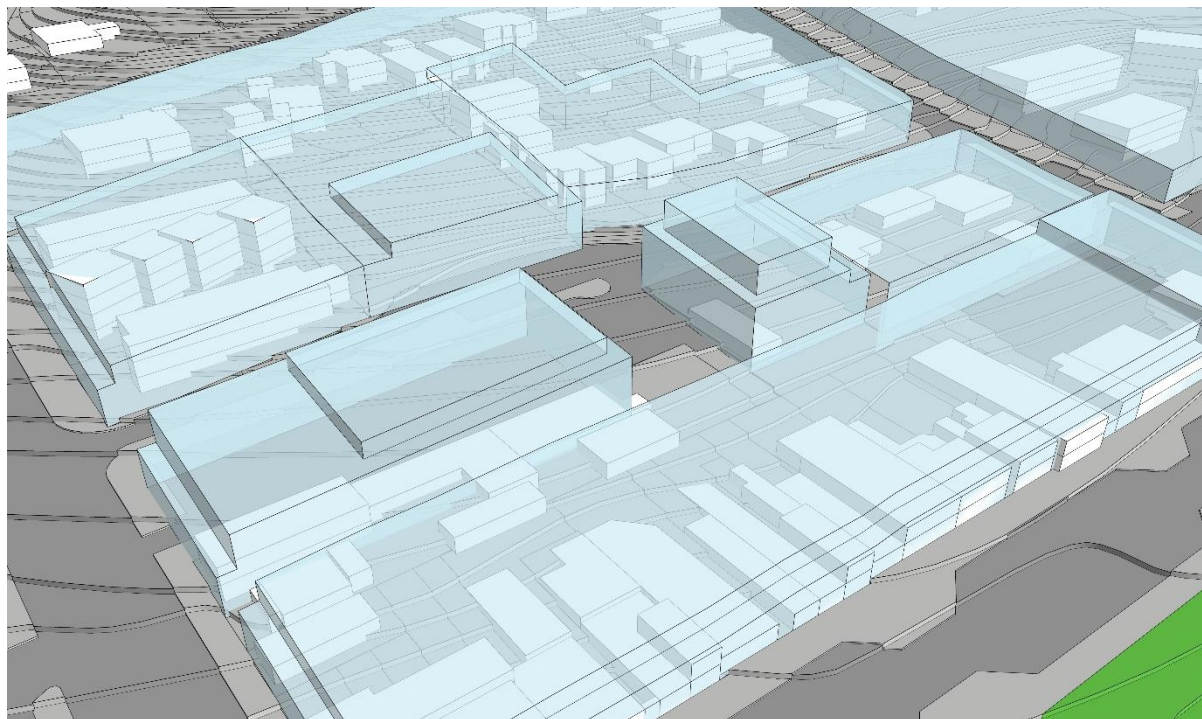


Figure 5: Akuna Street 3D Model extract

Civic Precinct Strategic Site

While no specific submissions were received regarding the Civic Precinct Strategic Site, further refinement to the controls relating to this site have occurred following the public exhibition.

The Civic Precinct is well located, in a historic part of the town centre. It is within a conservation area and contains several items of significant heritage value and is also close to the waterfront and key destinations. There is an opportunity for development that respects and complements the heritage elements, by encouraging re-use of heritage buildings, supporting sympathetic redevelopment of the Council site as well as the creation of new links and connections to the surrounding area.

The redesign of this strategic site provides the opportunity to provide a range of community facilities, such as an administration hub, creative arts, entertainment and arts museum, commercial spaces etc., within the development. The three-storey component incorporates a roof top terrace that would have panoramic views of the Kiama Harbour.

It is to be noted that this site already has a 19m maximum building height under the current LEP control and therefore a five-storey development is already permitted on this site. This proposal does not seek to increase the maximum building heights of this site, but rather provides design opportunities.

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Figure 6: Proposed DCP diagram – Civic Precinct

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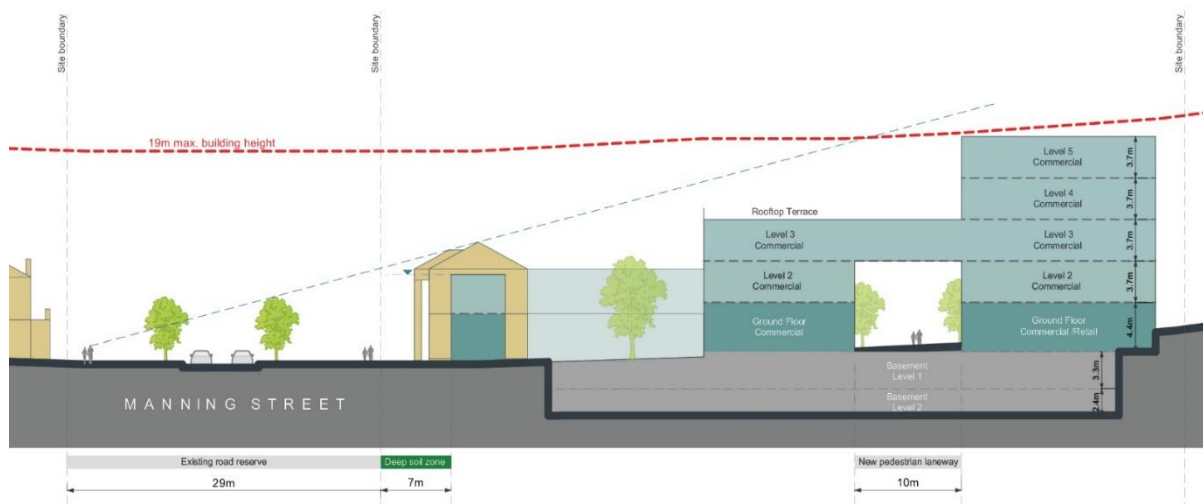


Figure 7: Built Envelope Section A – Civic Precinct

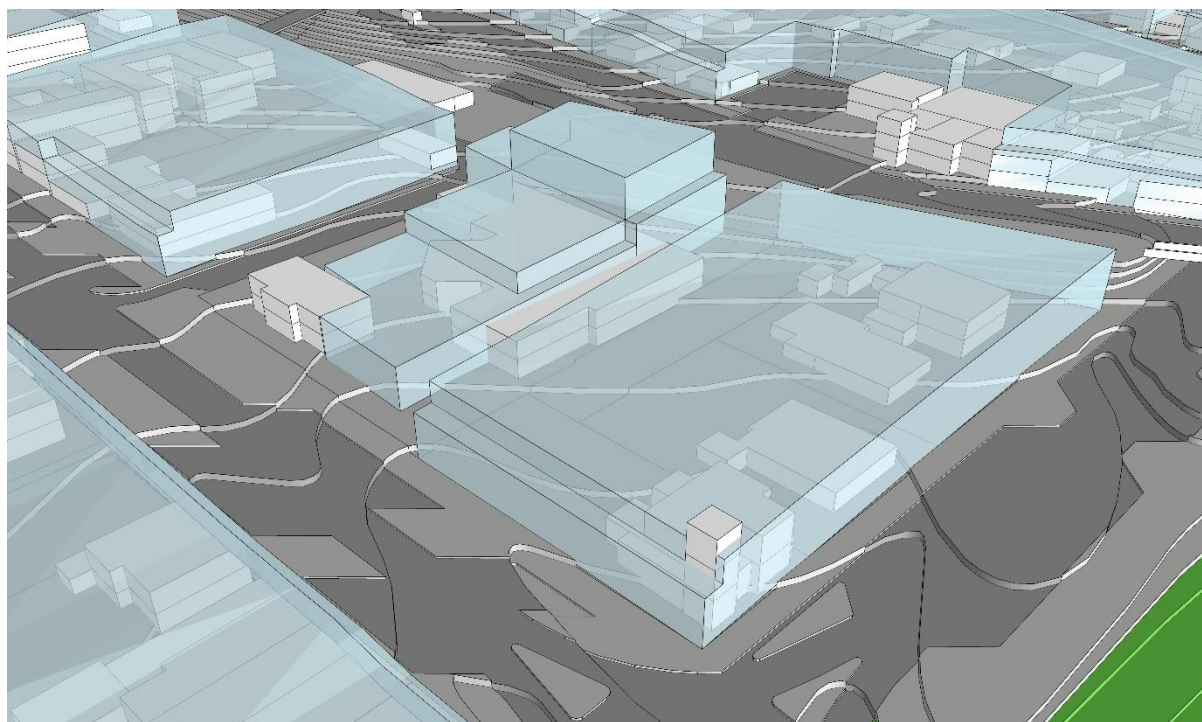


Figure 8: Civic Precinct 3D Model extract

Studio GL has provided a 3D model which incorporates the general height changes and the changes to the Akuna Street and Civic Precinct Strategic Sites. Still images of this model can now be viewed on Council's website. Work continues on integrating the interactive model onto Council's website. Once resolved, the model will be publicly available.

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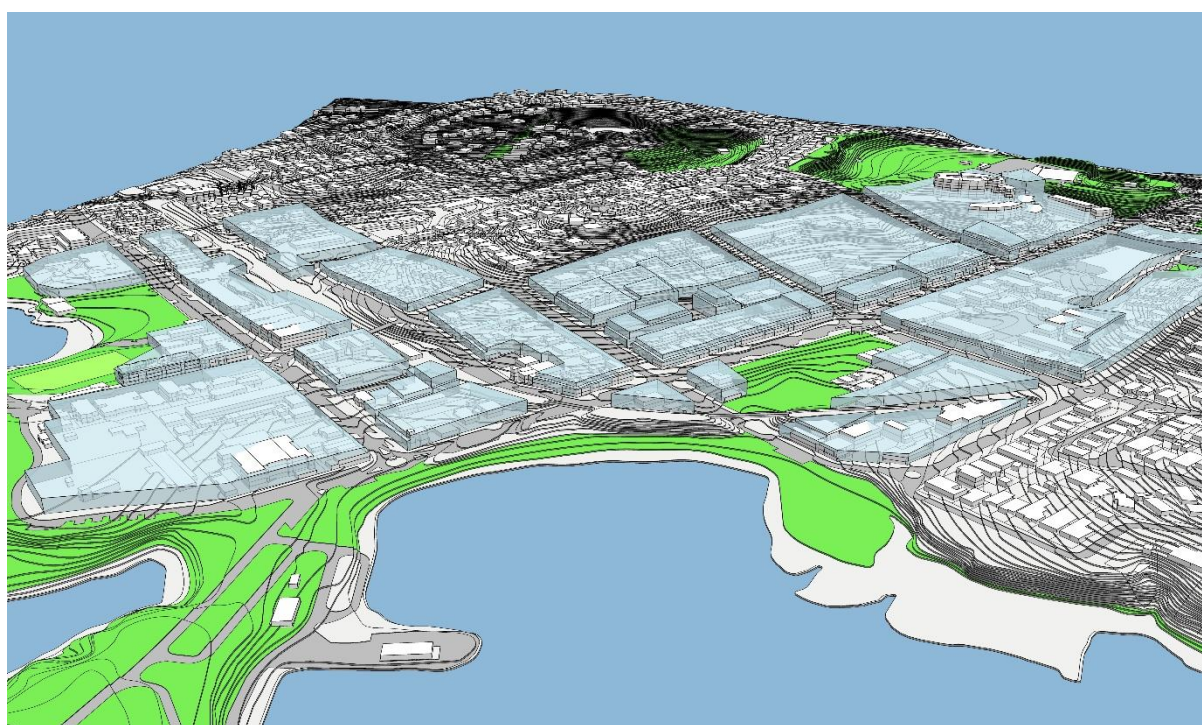


Figure 9: Birds eye view - proposed controls

Public Domain Technical Manual

The controls contained within any DCP only relate to Development Applications. As outlined above, the *State Environmental Planning Policy (Infrastructure and Transport)* 2021 outlines that public domain works do not require a Development Application.

The need for a Public Domain Technical Manual has been discussed with Council Engineering Department. Such a Manual would outline/specify the type of pavement, street trees, public lighting, public bins etc. to occur within the Town Centre.

It is recommended that a Public Domain Technical Manual be developed to ensure public domain works are consistent with the vision and objectives of the Town Centre DCP. Council's Strategic planning team will liaise internally with the Development Engineering team to develop Manual as part of future Works Programs.

Acoustic treatments for new residential development

Acoustic privacy is a measure of sound insulation between residential apartments and between external and internal spaces.

New controls have been included in the DCP to ensure future developments provide a high level of amenity for future residents and building users. At the same time, development is required to protect and where possible enhance the quality of the public domain and minimise the impact on the existing amenity of adjoining development, i.e. visual / acoustic privacy and sun access.

Conclusion

Kiama Council is committed to creating great places to live, work and enjoy in our Municipality. Council's Strategic Planning and Plan Making processes provide both

Report of the Director Environmental Services

- 12.6 Post exhibition endorsement: Topic 12.7 Kiama Town Centre of Kiama DCP 2020 and preparation of Planning Proposal to amend Kiama LEP 2011 (cont)
-

the most effective opportunities to engage with the community and create these places.

This report addresses the relevant/appropriate recommendations, made by Studio GL, to amend *Kiama Local Environmental Plan 2011* and the *Kiama Development Control Plan 2020*. This report seeks to adopt the Topic 12.7 – Kiama Town Centre of Kiama DCP 2020 and to prepare a draft Planning Proposal to undertake any necessary amendments to the *Kiama Local Environmental Plan 2011*.



Kiama Town Centre DCP - Engagement Summary



RESPECT



INNOVATION



INTEGRITY



TEAMWORK



EXCELLENCE

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Kiama Town Centre DCP – Engagement Summary

1.0 Background

At the Ordinary meeting held on 17 September 2019, Council endorsed the Kiama Town Centre Study (KTCS) as a guiding document for future strategic planning and plan making functions. The Study included 47 recommended actions, which were prioritised to include the Local Environmental Plan (LEP) Heritage Review and the Development Control Plan (DCP) Review for the Kiama Town Centre.

Studio GL was appointed to review Topic 12.7 – Kiama Town Centre of the Kiama DCP and provide new controls for the Centre, including Location Specific Controls, Character Statements and controls for Key Strategic Sites.

GML heritage prepared a DCP Review Summary Report justification report and an amended Draft Chapter 12, Topic 12.7 – Kiama Town Centre DCP of the Kiama DCP 2020 that included new development controls.

Council held workshops with the Community Review Panel in December 2021.

Following positive feedback Council requested Studio GL to make amendments to the figures that they had provided to demonstrate a further increase in storeys throughout the Kiama Town Centre to demonstrate to the community the extent that building heights could be increased through the town centre. The second proposed set of images takes into consideration the proximity to heritage items, site lines and impacts.

These documents were exhibited from 28 February 2022 to 28 March 2022 in accordance with the with the Kiama Community Participation Plan 2019.

At the Ordinary meeting held on 15 February 2022, Council endorsed to seek community feedback regarding the Kiama Town Centre DCP.

Following the closure of the formal exhibition process, necessary amendments were required to be made prior to reporting the final Topic 12.7 of the Kiama DCP back to Council, and a draft Planning Proposal to undertake necessary amendments to Schedule 5 of Kiama LEP 2011.

These changes included variations to maximum building heights throughout the Kiama Town Centre and amendments to Strategic Sites. Studio GL made changes to the Civic Precinct site and provided 4 alternative design options for the Akuna Street Site.

These changes are demonstrated in the 3D modelling that has now been provided by the Consultant for public view. The site demonstrates 'Option C' of Akuna Street which has been recommended by the Consultant as providing the best design outcomes.

The 3D model will be posted to Council's website at the beginning of September to allow the Community to view the model prior to the September 2022 Ordinary Council meeting.

2.0 Purpose of Engagement

To ensure the community and industry have an understanding of Council's Kiama Town Centre DCP review, the purpose of this engagement was to:

1. Explain and inform the community and the industry on the draft Topic 12.7 – Kiama Town Centre DCP in KDCP 2020
2. Seek feedback from the community and the industry on the draft amendments to Topic 12.7 – Kiama Town Centre DCP in KDCP 2020 and proposed new development controls and increased building heights.

In accordance with International Association for Public Participation (IAP2) spectrum of engagement and the Kiama CPP 2019, the stakeholders were 'informed' and 'consulted' with as the draft amendments were published on Council's website.

3.0 Engagement Objectives

The objectives of this engagement were to:

- Inform the community/industry on the proposed draft amendments to Topic 12.7 – Kiama Town Centre DCP in KDCP 2020 and proposed new development controls and increased building heights.
- Promote the provision of feedback on the proposed amendments.
- Encourage registration for other Strategic Planning engagement platforms.

4.0 Key Stakeholders

4.1 Development Industry

- Inform Development Industry about the proposed draft amendments to Topic 12.7 – Kiama Town Centre DCP in KDCP 2020 and proposed new development controls and increased building heights., the path to implementation and the efficacy of the process to build trust
- Provide opportunity to capture personal opinions
- Establish confidence and trust in the process - that the community is being appropriately engaged
- Stimulate higher strategic thinking - avoid detailed discussion about outcomes
- Park issue that require further interrogation and let the community know that they will be dealt with

4.2 General Public

- Inform the general community about the proposed draft amendments to Topic 12.7 – Kiama Town Centre DCP in KDCP 2020 and proposed new development controls and increased building heights, the path to implementation and the efficacy of the process to build trust
- Provide opportunity to capture personal opinions
- Establish confidence and trust in the process - that the community is being appropriately engaged
- Stimulate higher strategic thinking - avoid detailed discussion about outcomes

- Park issue that require further interrogation and let the community know that they will be dealt with
- Discuss issues of particular relevance to general community as appropriate
- Involve general community in the formulation of the deliverables of the Strategic Works Program.

5.0 Engagement Methods

Engagement methods included:

- Printed Media (The Bugle)
- Social Media Platforms
- Community review panel workshops
- Council's Website
 - Engagement Page
 - 'Your Say' function

Kiama Town Centre Study Exhibition - DCP Review

Submissions closed on 28 March 2022, 05:00 PM

As part of the Kiama Local Strategic Planning Statement (LSPS) 2020, Council is conducting a comprehensive review of the development controls that apply to the Kiama Town Centre.

These development controls are contained within the [Kiama Development Control Plan \(DCP\) 2020](#).

The purpose of our DCP review is to make Kiama a dynamic and activated place to live and work in.

The review will ensure that our controls are appropriate and help to achieve good planning outcomes, sustainable urban design, improved quality of life, opportunity and economic growth within the Kiama Town Centre.

Council appointed Studio GL to conduct the Kiama Town Centre Study and to review Topic 12.7 - [Kiama Town Centre of the Kiama DCP](#).

We held two workshops in December 2021 with Council's Community Review Panel.

The workshops reviewed the documentation Studio GL had developed on behalf of Council.

The Community Review Panel gave feedback that a 3rd storey was a limitation to feasible development and that a further additional, recessed storey (where suitable) would be more viable, tasteful, feasible and consistent with other regional towns.

As a result, amendments were made to the draft Topic 12.7 document that proposes a further increase to maximum building heights and setbacks.

The draft DCP and associated documents are on exhibition from Monday 28 February to Monday 28 March.



Timeline

- Studio GL appointed
- Community Workshops
December 2020
- Draft DCP prepared
January 2021
- Draft DCP submitted
October 2021
- Community Review Panel
December 2021
- Publish Exhibition
28 February - 28 March 2022
- Finalise DCP
April 2022
- Report to Council for adoption
December 2022

Contact details

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Ed - (02) 4232 0404
suzis@kiama.nsw.gov.au

Key changes

New Character Statement	+
Location specific controls	+
Increase maximum building heights	+
Activated street frontages	+

After the exhibition period, a further report will be provided to Council for formal endorsement and adoption.

It will outline the outcomes of the consultation process, any further changes made as a result of community feedback, and a draft Planning Proposal to make any necessary amendments to the Kiama Local Environmental Plan 2011.

Related Information

[Draft-Topic-12-7-Kiama-Town-Centre-Kiama-Development-Control-Plan-2020.pdf](#) (PDF, 5MB)

[Kiama-DCP-Review-Summary-Report.pdf](#) (PDF, 50MB)

[Kiama-Town-Centre-Feasibility-Analysis-draft.pdf](#) (PDF, 5MB)

[Kiama-Town-Centre-Economic-Study.pdf](#) (PDF, 25MB)

[Kiama-Town-Centre-Study-Integrated-Report-Part-1.pdf](#) (PDF, 50MB)

[Kiama-Town-Centre-Study-Integrated-Report-Part-2-April-2019.pdf](#) (PDF, 50MB)

6.0 Engagement Timeline

Studio GL invited community members to provide feedback in person and online via:

6.1 Community Drop-in Sessions

A drop-in session held at the Kiama Markets allowed a diverse group of people, including residents and visitors, to provide their input and ideas. In spite of the rain, 50 people gave their input during this event.

6.2 Interactive Workshops

Studio GL held three (3) separate interactive workshops for the following stakeholders:

- Local business – 10 participants
- Community members – 24 participants
- Council staff, Councillors and committee members – 15 participants

6.3 Community Review Panel

Two (2) workshops were held with the Community Review Panel on the 9th and 10th of December 2021.

6.4 Public Exhibition

The draft amendments to the Topic 12.7 – Kiama Town Centre 2020 were publicly exhibited between Monday 28th February 2022 and Monday 28th March 2022.

6.5 3D modelling

A 3D model has been provided by the Consultant which will be made available on Councils website at the beginning of September to allow community members to navigate the tool prior to the September Ordinary Council meeting.

7.0 Engagement Outcomes Sought

The outcomes sought from the Engagement Activities included, but were not limited to, the identification of:

1. Thoughts and feedback on the draft amendments to Topic 12.7 – Kiama Town Centre DCP in KDCP 2020 and proposed new development controls and increased building heights, and
2. Other concerns/feedback, including areas that may have been missed.

8.0 Engagement Evaluation

8.1 Community Review Workshops

Two (2) workshops were held with the Community Review Panel on the 9th and 10th December of 2021.

Feedback was provided that some corner sites could warrant an additional storey.

Following the community review workshops Council liaised with the Consultant to update the figures for corner sites to demonstrate an additional (fourth) storey, recessed back. The comparison was shown between the third storey and additional fourth storey.

Studio GL provided amended figures and mapping to demonstrate increased heights throughout the whole Kiama Town Centre. These amendments were exhibited to the community to seek feedback on the height variations, and where increased heights could potentially be warranted.

8.2 Formal Exhibition

During the exhibition period, Council received **one hundred and twenty four (124)** submissions. Of these:

- 19 submissions supported heights of 4 storeys and/or more; including the Akuna Street site.
- 104 submissions supported the existing heights controls of 3 storeys, including the Akuna Street site.
 - o Some of these objections stated that they did not wish to see height increases above the existing 2 storeys. It is to be noted that all sites in the study area have existing height controls of 11metres and 3 storeys. Therefore, all sites with 2 storeys are permissible to be increased to 3 storeys under the existing LEP controls.
- 15 of the above submissions mentioned Arts

Submissions are outlined further in the attached Engagement Summary.

In summary, a large portion of submissions opposed the proposal with the following concerns raised:

1. Increased building heights beyond 3 or 4 stories
2. Increased building heights not warranted – demand for additional housing not identified.

3. Akuna Street proposed height out of character
4. Overshadowing and view loss
5. Capability of Infrastructure to support increased densities i.e roads, sewage
6. Change to the Kiama character and coastal village charm
7. Parking loss, traffic and congestion issues
8. A coastal management plan to be completed for the Surf Club Strategic Site
9. Arts not included
10. A 3D model is required to demonstrate the proposed heights, overshadowing, impacts etc

Amendments have been made to the proposal to try and alleviate concerns raised by the community. The amendments aim to achieve a balanced approach that reduces impacts and achieves good design outcomes and benefits to the community such as improved public infrastructure, i.e. improved pathways, roads, road alignment.

Kiama Local Strategic Planning Statement (LSPS) 2020

Theme 1 of the LSPS is to Manage Sustainable Growth. One of the actions under planning priority 1 is to *facilitate higher density development as recommended by the Kiama Town Centre Study through the review and amendment of Development Control Plans within the study area*. The proposal facilitates height as recommended in the KTC study by the amendment of controls in the study area and therefore is consistent with the LSPS.

8.3 Website interactions

The Kiama Town Centre DCP webpage was externally viewed 1,452 times during the exhibition period and on average people viewed the page for approximately four (4) minutes. This is a fantastic level of engagement.

From the data above it could be inferred that there was a significant amount of interest in the proposed amendments with a large number making a submission.

Evaluating additional methods for initially communicating and directing stakeholders to our website may result in greater patronage of the platform. This may include, but is not limited to, holding a planning and development forum where stakeholders can hear from and discuss with staff changes to planning processes etc.

In future, adding a 3D model will better inform the community of building heights and impacts.

A 3D model will be made available on the webpage at the beginning of September 2022 to allow community members to navigate the tool and the amendments.

9.0 Appendix A

Kiama Town Centre DCP	Height	For	Against	Comment
Heights	Support 4 storeys & 14 metre height increase	Support		I support 4 storeys but oppose the proposal to allow development over 4 storeys in the town. The proposed 4 storey including set back makes sense but retaining the character of the town is important and we already have a number of extremely ugly oversized developments. This is the time to set sensible limits, not allowing developments over 4 storeys.
Heights	Support 4 storeys & 14 metres	Support		I support the 4 level street frontage on the corner of Terralong and Collins St. Would also like to see 148, 150 and 152 Terralong get increased height at street frontage. These sites are directly opposite Woolworths, a major commercial street front.
Heights	Support 4 storeys & 14 metres height increase	Support		I support the Draft proposal and believe the town centre deserves the facelift an 11m frontage and 14m height (with setback) will create. However, I believe it was a mistake for the Draft to display corner lots as "stand alone" development sites – more adjoining sites should be included. No developer will redevelop in isolation e.g. site K.
Heights	Support 4 storeys & 14 metres height increase	Support		I strongly support the proposal to raise building heights from 3 to 4 storeys as per the draft DCP. This would provide additional commercial and residential space critical to address the shortage of housing available in Kiama and employment opportunity. Close to key infrastructure such as transport services and school facilities is another benefit. The proposal appears to be considerate to the street facade with the recessing of the higher tier and would not detract from the existing Kiama street appeal. For our town to grow sustainably, such proposals as this should be adopted and broad consultation from younger generations is sought.

<Document name>

| 10

Heights	Support Akuna Street Height	Support	Support Akuna Street. Sale of the land to the adjoining owner will have no detriment on community as substantial Council public reserve land is already available in the immediate vicinity. It will improve financial position of Kiama Council and benefit the community. These additional funds can be readily deployed by Council for use in maintenance of public roads and acquisition of land for new roads. Public roads are Council's most significant public works expenditure item and the proceeds will therefore be well utilised. Will not be detrimental to public amenity or present any negative visual impacts to passers-by or from those viewing the land from other significant vantage points such as The Continental Pool, Kiama Harbour or Blowhole Point. Retaining the safety fence in its present position into the future will prevent public access and protect the foreshore from erosion. The area of land is not currently used as a public road and has never been used as a public road. The area of land will not be required for use as a public road in the future. The proposed road closure will not impact access to the existing road network.
Heights	Support all proposed heights	Support	I support the increased height limits incorporated into the DCP. I see this as a contribution towards increasing housing stock and taking pressure off urban expansion into surrounding farmland. I see it as an opportunity to better utilise existing infrastructure within walking distance of the town and increase the opportunity for a local night time economy. I am aware of many detractors of the increased height limits but fear that these comments are at best misguided and selfish.
Heights	Support 4 storeys & 14 metres height increase	Support	I support the proposal to raise building heights from 3 to 4 stories. The additional commercial and residential space located close to key infrastructure is critical to the long term vitality of the town. The future of the town hinges on working class families being able to live and work within Kiama and near to public transport and other amenities
Heights	Support 4 storeys only & 14 metres height increase	Support	I am concerned that this DCP, along with a coherent Housing Strategy, should be completed before putting key 'landmark' sites up for sale (viz Akuna Street). The process has been rushed and doesn't adequately reflect the wishes of the people of Kiama. We need to balance the visual

Local Infrastructure Contribution Plans – Engagement Summary

				impact of very different heights. I agree that if 4 storeys are to be allowed the 4th storey should be set back. Additionally I feel that proposals for increased building heights e.g. for 6 storeys at Akuna Street may well lead to overdevelopment of the exact type that we want to avoid.
Heights	Support 4 storeys only / Akuna Street	Support		Support 4 storeys - oppose buildings being over 4 storeys. The over development of Kiama is already creating overcrowding, parking and traffic problems. Ensuring sunshine and space for people who live here and contribute to the community in an ongoing way should be central to planning rather than enabling development to undermine quality of life for residents.
Heights	Support 4 storeys only / Akuna Street	Support		Too many levels. Should be restricted to 4 levels to remain more in line with the existing buildings.
Heights	Support increase in building heights	Support		I support the proposal to increase height limits. The future for an efficient society lies in use of land close to public transport and effective use of land. Land close to the train station and the town centre should be high density housing. There has been much community opposition to Greenfields development - the choice is clear - to continue a live in a viable and vibrant town we need a town centre, this proposal to increase building heights will give us that in the most environmentally friendly manner.
ARTS / Heights	Support some parts	Support		We support much of the proposed DCP but object to height standards for Akuna St, Civic strategic sites and Harbourside Precinct to preserve character, heritage and public amenity. Suggest greater heights for the West End precinct. Recommend old Brighton Hotel site as a strategic site to foster future redevelopment of that site back to tourism/hospitality & a widening of the HCA to include the area to the north of Terralong Street. We reinforce the importance of Building Design controls for the KTC to prevent inappropriate buildings being built. Concerns that economic report has not considered key industries, namely arts/creative and small professional businesses. Critical of the absence of input and referencing to the insights of Aboriginal community in the drafting of the DCP. Urge more time and more engaging/informative consultation be undertaken to

Local Infrastructure Contribution Plans – Engagement Summary

				'get things right' given the importance of the Kiama Town Centre to the quality of life and economic fortunes for Kiama LGA residents.
Heights	Support 4 storeys only	Support		Only support 4 storeys. I object to higher floors for the Akuna St development. This will damage the character of Kiama township and overlook Terralong St too much. I agree that Kiama could do with some development but we must retain the character of the town or else the reason we live here will be diminished. This is not the Gold Coast.
Heights	Support 4 storeys only	Support		Object to heights above 4 storeys.
Heights	Support 4 and 5 storeys	Support		Support height increases of 4 and 5 storeys. Attachment provided for justification of 114 Terralong Street being increased to 5 storeys with an increase in FSR to make future development feasible.
Heights	Support 4 storeys only	Support		I would prefer there were further height restrictions. In the applications where 2, 3 and 4 storeys are proposed with the setback restrictions, I am inclined to support, however I do not support anything over the 4 storey limit. Greater limits on visual impact to surrounding existing residents. The street view is fine, however the other profiles of the building should be aesthetically pleasing, not just shop fronts. This will impact other residents. Maintain the heritage values and the coastal village character and existing buildings should not be impacted. Rubbish collection must be addressed to facilitate the extra businesses and residents of these areas. Likewise parking for both business, residents and tourists must be addressed to meet the demands
Heights / surf club	Support 3 storeys and only 4 storeys in some corner sites. Council building & Akuna St not to go beyond 4 storeys.	Support some parts		The Feasibility study may be based on pre-covid assumptions about work which may now be flawed i.e may not need the commercial space. A 4 th storey with the top even recessed back is too excessive. Having Three storeys with the 3 rd recessed back will sufficiently boost economic activity. Not supportive of Akuna St going to 6 storeys. Council building to stop at 4 storeys. Surf club not increased due to 13erosion & flooding. I would not like to see, for example, the 1926 War Memorial dwarfed by its neighbours. I would approve of 4 storeys at the corner of Terralong

Local Infrastructure Contribution Plans – Engagement Summary

				and Eddy St (Railway Pde) as this site already has a high viaduct beside it. Similarly the corner of Terralong and Manning Sts (Cwealth Bank site).
ARTS / Heights	Support 4 storeys only – with 3 rd & 4 th recessed back	Support some parts		Akuna Street to be more profitable. The previous development which was rejected wasn't even as bad as this proposal. It will be an eyesore from the street, block views, increase traffic congestion. It will set a precedent for future development applications. The town badly needs carparking and I can't see any proposals for this in the plan. This site would have made a great multi-storey carpark with the possibility of something commercial on the top. There is also a proposal to retain the Kiama Independent building for an arts space. This has long been promised and here is a building that could be repurposed at a fraction of the cost but this will end up being demolished as part of the Akuna St proposal. Where there is mention of 4 storeys for some streets in the town my preference is two with setbacks to 3 and 4. This seems like a reasonable solution with less visual impact and less concern re shading.
Parking concessions	Support	Support some parts		We discussed the community's wish to see quality 4 story builds in these important corner positions. We agree this is good in theory but our experience of trying to come up with plans on several occasions in the last 6 years tell us this would fail on feasibility. In our example, the land size is both too small to excavate and on solid rock making a basement car park impossible. The only way forward to see any quality development happen in many of these positions would be if the council were to give concessions on the car parking requirements. 2 Manning street we were very enthusiastic and hopeful to make major improvements in a feasible way, it is now an unfinished "eye sore" and fine received. The mural needs to be removed and rectification works will need to be completed on the wall to restore it. We hope to get this done sometime in 2022.
Heights	Support 3 storeys only		Object	I support the existing 3 storeys and nothing more. Increasing heights further is not keeping with the towns aesthetic. Concerned that the existing infrastructure can support a more densely populated town.

Heights	Object to height increases & 4 storeys in particular in Surf Beach Precinct		Object	Increasing these minimum standards will only further negatively impact current residents and the natural beauty of our current landscape. I object to the proposal to have 4 storeys in Kiama, specially in the Surf Beach Precinct. It will create a 'canyon' like effect and result in over development. Drainage and sewer infrastructure is already unable to cope, this will add to the problem. Development will lead to more ugly 'box type' unit developments, none of which are in character with Kiama. Similarly no more commercial space is needed on ground floors - there are already too many cafe's.
Heights	Object - Use Bombo Quarry		Object	Object to height increases. The current Kiama township landscape is already substantially changing with the demolition of longstanding residences and removal of iconic vegetation. The existing residential road network is congested, increased density would make this worse. TAs Kiama is so restricted by the topography an alternative shopping mall seems highly unlikely. Use Bombo quarry it can have 10 storey heights etc.
Akuna Street	Object		Object	Overall, the format and general principles of the draft documents are supported. The draft DCP is a significant improvement in terms of its design and layout, and usability as a planning document than current adopted version. The controls that apply to the Akuna Street Strategic Site (Site A) are limited to certain properties only within this block (under Council ownership). Rather, this whole block north of Akuna Street should be considered holistically, in particular given the challenging topography, level changes, vehicular and pedestrian linkages, height controls and associated setbacks between buildings. This submission therefore requests that the controls within this block be revised to include No 3 Akuna Street and No 66 Collins Street having regard to the proximity to the east-west lane/connection that this document promotes/requires. Increased heights and FSR changes require LEP amendments Missing important built form controls (Street Wall Heights and setbacks).

				<p>No analysis of the interface of built form controls between the Akuna St Strategic Site, TIP-owned properties to west (ADG requirements), increased laneway width and associated setbacks..</p> <p>The linkages throughout the block need further development and refinement for practical implementation.</p> <p>Feedback provided on controls in DCP: permeable urban structure, site consolidation controls, street wall heights and setbacks, views and vistas and Site A: Akuna Street.</p>
Heights / Akuna Street	Object to raising of heights and Akuna Street	Object		<p>Object to raising of allowable heights of buildings.</p> <p>Kiama residents want to live in town that retains the feel that lead to us make a home here initially-where there isn't too much traffic, parking is not too hard to find, and where you can enjoy the expansive seaside vistas that currently aren't blocked by massive 4-storey units. This is very unlikely if there are years of disruption from extra developments, building of 4-storey units in the town centre, not addressing the on-going parking problems in some areas of the town and continuing to allow the fabric of our community to be eroded. There are much better options for residential properties to be located well outside the town centre.</p> <p>The <i>Kiama-DCP-Review-Summary-Report</i> states:</p> <ul style="list-style-type: none"> - height is a highly sensitive issue for the local community. - Generally a two-storey street wall with a 3rd storey setback is desired. - A 2-storey street wall with the 3rd storey setback is ideal for Kiama for sites other than key corner sites which should be 3 storey at the corner. - Three-storey wall height with no setback is preferred for Terralong St. <p>For other streets within the town centre, a two-storey street wall with setback.</p> <p>Council has an obligation to its current residents not to reduce the value of their properties by impeding their views and spoiling the current character of the town even further.</p>
Heights	Support 3 storeys only	Object		<p>I do not support the proposal to increase the building height limit beyond the current 3 storey restrictions. Kiama township has a unique township</p>

				character which needs to be maintained, and not rebuilt with high-rise new builds
Heights	Support 3 storeys only & another supermarket	Object		<p>Opposed to buildings of more than 3 storeys throughout our CBD. It will set a dangerous precedent, and change the charm & character of Kiama which we are trying so hard to hold on to and is already being eroded by poor planning and poor architecture. In addition to the character of our streets, entertainment venues seem to be missing! Shops Cafes Restaurants are planned and expected but no theatre, galleries, live music, outdoor theatre spaces. We must have parks and open spaces. There appears to be no provision made for a second supermarket in Kiama CBD.</p>
Heights	Support 3 storeys only	Object		<p>I object to the changes to Chapter 12.7 of Kiama council's 2020 Development Control Plan (DCP) relating to 'location specific controls'. The plan to allow higher buildings in Kiama town centre, up from 3 storeys to a minimum 4 storeys, maximum 7 storeys, (and I think would include the proposed development of the Commonwealth Bank site which is opposite heritage listed buildings), means the end of Kiama as a we now know it and its development into a high rise mini city with shadowed streets and lost vistas.</p>
Heights	Support 3 storeys only	Object		<p>I oppose buildings going above 3 storey. It will start to block out the views of all other homes and change the look of a seaside town. I do not want Kiama joining onto other districts and becoming one huge mass of houses connected all the way around our coast or looking like Shellharbour.</p>
Heights	Support 3 storeys only - Use Bombo Quarry	Object		<p>Strongly object to the Town Centre height limits being increased to 4 and in some cases 6 storeys. Reasons; (1) Bulk and Overshadowing of streets and adjoining properties (2) Reducing the light into the CBD and adjoining streets area outside the CBD (3) Taking away highly paid for views to many adjoining existing properties. (4) Potential for Developers to seek to impose these heights in areas outside the CBD</p>

Heights	Support 3 storeys only		Object	Object to increase heights. People's views will be affected. High rise and traffic lights will destroy the quaint charm and character of the town and infrastructure will not cope. To be greeted with higher, overshadowing buildings at Collins/Terralong would have a negative impact on the feel of the town.
Heights	Support 3 storeys only		Object	Object to increasing the height restrictions in the Kiama Community Draft proposal. The current proposal has contradictions in it relating to where these increased heights may be built. The community has not had enough time to respond to this draft proposal and voice what a pleats to be many objections.
Heights	Support 3 storeys only		Object	To increase the height of buildings in the main part of the city centre will make us "just another town".
Heights	Support 3 storeys only		Object	Object to more than 3 storeys. Given the topography and historical nature of a number of buildings in the location of these proposed increased height limits it would negatively impact the community it terms of amenity and the general visual impact.
Heights / surf club	Support 3 storeys only		Object	Support maximum of 3 levels only. Restaurant on surf club might lead to noise complaints. Housing strategy should be prepared first to see if increased heights in town centre is warranted. Rushed for Council to sell their building. Attached submission has more details.
ARTS / Heights	Support 3 storeys only		Object	Shocked by 4 and 6 storeys in the town centre. Radical and not in-keeping with our town. The heights put profit before what is best for our town, more high-rises and a large number of town centre units will tip us past that for which we will not recover. The old Independent Building should be retained and reactivated for creative arts. Have not included enough in this DCP that will ensure growth and support of our arts and culture sector in Kiama. Examples provided from Wollongong Council
Heights	Support 3 storeys only		Object	Raising heights is contradictory to views of people who had partaken in the workshops. Summary Report p38 "4 storey corner sites, not generally supported". Report 2 Part 2 2019 p127 states "New development along

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				<p>Manning St is too high and is too close to the street". A 3D model is required. DCP ensures developers meet rules of the plan eg urban design, stormwater, landscaping, parking, access, building heights etc. Design is the key in the consultation process, however without effective accountability the assessing of the consequences of alternate courses of action can be a dilemma and a grand disaster. Current maximum heights must remain as mandatory and only exceeded where required with special consultation. If adopted in its current state it would be a catalyst for developers to ruin our town with high rise buildings and we will lose our seaside village. DCP should include creative space for commercial tenancies or repairs or upgrades to historical buildings to be used as art centres.</p>
Heights	Support 3 storeys only	Object	Object	<p>Disagree with more than 3 storeys. Housing strategy to be prepared first. Submission includes issues with DCP for review.</p>
Heights	Support 3 storeys only	Object	Object	<p>I oppose height above 3 storeys. We need to retain the character of Kiama and in particular the properties behind Akuna St will be severely impacted. Apartments are not selling strongly in Kiama with several developments taking many years to sell.</p>
Heights	Support 3 storeys only	Object	Object	<p>I object to the proposal to increase the building height for this and any other proposed building in the Kiama Municipality.</p>
Heights	Support 3 storeys only	Object	Object	<p>Only support 3 storeys with the top level recessed back. Raising the height limits on the main streets will feel far more closed in and less attractive to tourists and visitors. Stress importance of maintaining our coastal town heritage.</p>
Heights	Support 3 storeys only	Object	Object	<p>Object to increasing building height. Kiama is losing its coastal appeal, we have enough units already. If it was to go ahead 3 story's maximum. 6 storey height would be an eyesore and create more congestion.</p>

Heights	Support 3 storeys only		Object	Keep Kiama building heights to 3 storeys. Keep village atmosphere. Buildings over this height will destroy the essence that is village Kiama that people come to and love. We live here. Developers make money and leave. Don't let them overdeveloped out of greed and destroy Kiama.
Heights	Support 3 storeys only		Object	Support 3 storeys as the maximum height.
ARTS / Heights	Support 3 storeys only		Object	Concerns about minimum required consultation/exhibition period of four weeks. We urge deeper engagement. Economic report has not considered arts and creative industries and professional business services on a micro-enterprise basis. A DCP for KTC must address the heritage characteristics of this area, for economic benefit, for social purpose and to uphold community identity and retain cultural values. Appalling track record in protecting heritage streetscapes from unscrupulous and unethical development. Shameful lack of mention of Aboriginal Heritage Management and perspectives Aboriginal people on DCP Review. Akuna Street 6 storeys is excessive and would overwhelm KTC and adversely affect the character of the lower Manning Street area. I would be supportive of an increase in height provisions in the West End precinct to foster more facilities for shopping, entertainment, and business activities.
Heights	Support 3 storeys only		Object	The town centre of Kiama has always had a village quality. I have lived here all my life and would be saddened and angry if that was lost in the pursuit of a quick dollar. We need to ensure that development is controlled and that a precedent is not set. I therefore strongly object to the idea of anything over 3 stories in the town centre. The flood gates would be opened if six stories was approved, there would be no turning back. A development that encompasses the towns needs is what should be on the agenda. A second supermarket is a must. The Akuna St area currently provides extra car parking for the town centre and this needs to be addressed as a matter of urgency.

Heights	Support 3 storeys only		Object	I object to the proposed increase in building height limits in Kiama. It will dramatically alter the streetscape of our beloved town. There has been no public announcement of this and I feel it has been hidden from the electorate. We clearly need more time for public consultation before any further development here.
Heights	Support 3 storeys only		Object	My objection to the proposed changes to the Kiama Town Centre DCP is primarily on the over-development of the town centre by increasing the height limits. This would impact on the streetscapes, heritage values, traffic congestion and sewerage operation. The liveability of Kiama will be permanently devalued at the expense of the residents.
Heights	Support 3 storeys only		Object	Object to raising maximum building height beyond 3 floors.
Heights	Support 3 storeys only		Object	I object to any height increases above 3 storeys
Heights	Object to increasing height		Object	2 storey is more than enough. 4 story will only set a precedent for future development and is totally out of character for Kiama.
Heights	Object to increasing height		Object	Oppose increasing heights. Access to water views from many parts in town makes Kiama appealing. The DCP should ensure height does not obscure views to the ocean and mountains for residents and visitors. Kiama is not a city, it is a village/town and that is its charm and amenity for its residents.
Heights	Object to increasing height		Object	The atmosphere of the current town centre is one of the reasons that it has appeal. To over develop the town centre would change the appeal of Kiama. Overbearing buildings would change the appeal of the quiet regional seaside town to that of a sterile, unidentifiable city.
Heights	Object to increasing height		Object	I do not agree with the proposed increase in the town centre and we need more time for public consultation.

Heights	Support 3 storeys only		Object	Oppose increase in heights. More time for public consultation.
Heights	Support 3 storeys only		Object	Oppose increased height limits. Need more time for public consultation.
Heights	Support 3 storeys only		Object	I do not agree with proposed increase in height limits in the town centre. There is a need for more time for public consultation. The proposal has not been widely discussed and information is difficult to find.
Heights	Support 3 storeys only		Object	If the building height increases past the current allowable 3 storeys it will destroy the 'small town quant' attractiveness of the Kiama municipality that residents & tourists like.
Heights	Support 3 storeys only		Object	Any increase on the current height restrictions in Kiama should not be allowed. We don't need another Gold Coast, as it is if you have a look around you will notice that the heights have increased against Councils rule of two stories.
Heights	Support 3 storeys only		Object	I think more than 3 storeys will make our town like Sydney & the Gold Coast. Residents like small town living & not big high rise.
Heights	Support 3 storeys only		Object	Raising the maximum permitted building height will irrevocably change the character of the town in ways that cannot be estimated, as this is an emotional, historical and intuitive aspect of the place we call home. To maintain the town's character as much as possible it would be wise to keep the building height maximum as they are.
Heights	Support 3 storeys only		Object	I believe that there should be a 3 storey height restriction in Kiama. We do not want to look like the Gold Coast.
Heights	Support 3 storeys only		Object	Kiama beauty lies in its heritage, lighthouse, harbour, the street shopping, parks, sporting fields, and clubs. Green surrounds, wide open blue skies and clear views of the blue ocean attract tourism. Oppose increasing maximum building heights and setbacks. Only an additional storey should be supported and that can provide basement carparking.

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				<p>Against 6 storey proposal. 4 storeys is too high and has encouraged more developers to try for this height as well. Causes a shortfall in infrastructure and services for the greater density of people who will move in. Don't support the selling of Blue Haven Aged Care Complex. I don't support moving the amenity of a recreational and sporting venue like the Kiama Bowling Club from a quiet area to a busy congested area at the Kiama Leagues Club carpark. Streetscapes should have setbacks that allow for tree planting between the building and the road, especially to mitigate hot seasons and the changing climate.</p>
ARTS / Heights/ surf club	Support 3 storeys only		Object	<p>Longer exhibition period required to get broad feedback. Desired future characteristics need to be defined more carefully. Need to retain the desirability of Kiama as a historic seaside town to both residents and visitors. Comments provided for Gateway sites. Comments provided regarding Housing Strategy, this needs to be completed before proposing additional residential accommodation in the KTC. Inconsistencies within and between documents and between points in the Kiama Local Strategic Planning Statement 2020 with existing and proposed street wall heights. 4 stories also does not fit the desired historical character or relaxed coastal feel. Akuna Street proposed 6 storeys and sale of property. Akuna Street is several metres higher than Terralong Street and therefore any high buildings will dominate above the existing historic section of Terralong Street. Questions posed to Council. Surf Club requires a CMP to be done first. Kiama has a vibrant arts and music community, but presently the town lacks artistic and creative spaces. We believe some of the proposals in Topic 12.7 will damage and potentially destroy Kiama's unique and appealing character.</p>
Heights	Support 3 storeys only		Object	<p>Object to height increases, they will erode the visual amenity, character and heritage of Kiama – a coastal town that attracts visitors, tourists and locals. Developers work to gain profit. Accommodating greater density is not matched by infrastructure provision. The CBD will only suit higher income residents which tend to be older people. Recent development is not sympathetic to the existing heritage. Traffic flow diversion and limited parking seems potentially problematic for older residents and I can envisage (dread) parking meters in the future. Nevertheless I would support the pedestrian precinct if the space provides more than cafes</p>

				and shops. For example a skate or art/performance area that young people can utilise on a permanent basis. Plan for the wider community of residents and attempt social and demographic diversity whilst not just protecting existing heritage but also demand that it is enhanced with building design and streetscape compatibility.
Heights	Support 3 storeys only		Object	Stop over developing to line pockets of greedy developers
Heights	Support 3 storeys only		Object	My objection to the proposed changes to the Kiama Town Centre DCP is primarily on the over-development of the town centre by increasing the height limits. This would impact on the townscape, heritage values, traffic congestion and sewerage operation.
Heights	Support 3 storeys only		Object	Concerns for height increases: 1. Infrastructure issues. Plumbing, sewer and electrical are already under major strain. Developers are not required to improve any infrastructure outside the footprint of their development. 2. Height Restriction creep. Height increase in one pocket of a town will creep to adjoining and local streets.
Heights	Support 3 storeys only		Object	I object to the 4 storey development. I think this will change the attractive, spacious character of the town. It will give the place a closed in feeling, effect the natural light coming through and create too many shaded areas. It will also increase traffic substantially. There are already traffic flow issues where the 4 storeys are proposed. This increase in traffic will worsen already overtaxed roads.
ARTS / Heights / Surf club	Support some parts	Support some parts		Happy with comprehensive heritage review and mitigating future development. Residents voiced concerns at Kiama Central Precinct meeting of increase to building heights changing character of the town. Workshops attendees do not recall blanket raising of heights along Terralong Street and Manning Street or 6 storeys on the Akuna St site. Specific sites were flagged as possibilities for four storey development, namely some corner locations. Upper storey setbacks were also considered to be suitable but not to the extent delivered in

				the study. A housing strategy needs to be completed first and 3D modelling is required to show impact of the changes. Heritage review has made people anxious about effects on their property value. Surf Club site should be withheld until CMP is conducted. DCP should include controls to facilitate a night time culture and include a space for the Arts and Culture. Old Independent building to be considered for an Arts space.
Heights / Noise	Support 3 storeys only		Object	Whilst the DCP review looks at character statements and building heights for example, there is no wider conversation around ensuring acoustic privacy controls for building facades attenuate external sound, or, for the wider discussion, the permissible uses for arts and culture in the LEP or for evening economy development in the town centre. - Further points raised in attachment
Heights	Support 3 storeys only		Object	The DCP draft generally appears reasonable however it is more suitable for a medium sized regional centre with grid pattern layout. Designed with focus on the designated town centre area, but not its contextual geographic and topographic situation. Not designed to meet the needs of a town centre, height incentives sweeten the pot for developers. Current DCP controls are ignored by developers, 4 storeys will block views and impact amenity. New residential apartments above active street frontages, it will only increase the interface conflicts. There is little justification put forward for the west End of Terralong Street being 4 storey along its entire streetline. Kiama has a real opportunity to achieve growth and retain prosperity with a new model approach that could be squandered by a DCP that panders to development pressure with inappropriate concepts and unenforced guidelines. The new DCP proposes to "open up view lines" from these new 4th storey apartments which will actually "close down view lines" for our neighbours. Strongly object to raising height in West End.
Heights / Parking / Traffic	Support 3 storeys only		Object	I do not agree with the proposed increase in height limits and the parking or lack of no need for traffic lights at the Collins St round a bout and we need more time for public consultation.

Heights	Support 3 storeys only	Support some parts		I generally support the proposed plan, apart from the further increase in building heights. I believe current maximum heights must remain as mandatory, with specific sites requiring special consultation. We need to maintain the current maximum heights while allowing development which enhances our beautiful town.
Heights / Pedestrian linkages	Support 3 storeys only		Object	I object to 6 story height in the town centre. It will increase traffic congestion in a busy CBD and is in contrast to the traditional heritage buildings in the precinct. I would like to see Council investigate a pedestrian link from the Akuna street car park with discussions with landowners in Terralong Street, lining up with park and pedestrian crossing. Edessa Arcade link is inadequate and not safe. A new arcade linking Akuna street and Terralong street would liven up the town centre.
Heights	Support 3 storeys only		Object	Lifting the height restrictions above the current 3 storey rule will damage the beautiful heritage qualities that Kiama has and destroy much of the charm that draws tourism (a major industry) into our town. Coupled with tasteless buildings that are out of character with what remains of the heritage sites in Kiama (Thompson St in favour of more poorly built monoliths), raising heights would severely damage the aesthetic qualities of our town. Council are supposed to uphold the town for the benefit of those who live in it and keep drawing tourists in to stimulate the economy.
Heights	Support 3 storeys only		Object	Kiama is rapidly losing its historic and coastal charm which for years has attracted residents and delighted tourists. Multi-level buildings completely alter the ambience of the town turning it into just another ugly ordinary place. Kiama's infrastructure is already inadequate for the population. The roads are choked with cars particularly at weekends and holidays. There is a complete lack of car parking. Do we want to add more cars, more people to miss out on care in our overburdened "local" hospital. Do we want our beautiful little town to look like the Gold Coast. NO NO NO.

Heights	Support 3 storeys only	Object	Concerns about height increases, particularly Akuna Place and Havilah Place. Not consistent with LEP. High rise buildings add to traffic congestion (which is already an issue) and impact on the nature of the town, detracting from its current appeal, uniqueness and special charm.
Heights	Support 3 storeys only	Object	Height limits should stay at 3 storeys. There is a broad distrust in Council, these recommendations are just 'the thin edge of the wedge' and people do not trust the council to protect the character of our town, rather to benefit developers. Council needs to be more transparent and try harder to have broad community consultation & accountability. My property is affected by the Heritage Review. I am personally invested in maintaining the heritage personality of the town. Council should ensure that the zoning around heritage sites helps to protect them. The HCA and current zoning contradict one another, it allows development of sites that would destroy character. Neutral and uncharacteristic items amongst heritage listed and contributory properties. Kiama's great strengths is its village/heritage feel, not to be like the Gold Coast.
Heights	Object to height increases	Object	I object. I support a Kiama that has Heritage, coastal, village and tourism appeal, not a gold coast high rise and not 6 storeys to benefit developers. Current height restrictions maintained at 2 storey, not increased. This is for the amenity of home owners and their views, shadowing issues and to keep the village feel in our town centre. It should be retail, cafes, restaurants, with offices above and at the back with suitable parking – not associated noise, nightlife and activity that comes with density. A roundabout onto Terralong Street should be maintained- NO traffic lights. We do not want to have no green areas, traffic lights and massive car parks. There is a parking problem that needs addressing, underground parking? Keep Kiama's rural and village feel, supporting the history of the area, heritage buildings and protecting potential heritage homes.

ARTS / Heights	Support 3 storeys only		Object	<p>Support the retention of heritage character and precinct groupings. Concerned about identified strategic sites and Akuna St which is for sale advertising 6 storeys. Opposed to increasing building heights. 4 storeys buildings are hideous & not consistent with a regional town. Shop/residential fails because it is hard to live above a cafe (noise, odour, security issues) and because there is a limit to the demand for such shops. I am very supportive of the street activation proposals, evening and daytime attractions. Disappointing that the DCP does not identify a relationship with the arts and creative industries that will greatly contribute to such activations. Urge Council to identify sites that can easily be enabled to offer say live music, active art workshops pub type events. Harbour revitalisation is a whole other issue, the neglect in this DCP for ways to improve the dining/recreation amenity of the harbour front is disappointing. Commend the efforts of Council staff, clearly a lot of work has gone into the preparation of the DCP and I for one appreciate this effort.</p>
Height / Heritage / Traffic / Parking	Object to any height increase		Object	<p>DCP & revised Heritage will hopefully assist in maintaining the character and heritage of Kiama. However, the plan to raise height limits to 3 and 4 levels in the CBD and the 6 levels are a distortion of the community feedback, or lack of community consultation. Topography would appear as 8 storeys and block views. Preserve "Independent buildings" site, it would add to the charm and uniqueness of this site. Traffic management and parking is an ongoing issue and is not adequately addressed. Current council parking sites need to be retained and more provided. There is no justification for the increased residential yield and the Kiama Housing Strategy has still not been developed. Future housing needs to incorporate permanent housing, affordable housing, not just holiday rentals. Look at Bombo Quarry. There needs to be provision for affordable housing included. Can genuine and active residents who represent community groups be included in any future committees formed to assess the draft DCP and associated documents?</p>
Heights	Support 3 storeys only		Object	<p>I do not agree with the proposed height limits in the town centre we need more time for public consultation</p>

Heights	Support 3 storeys only		Object	Oppose 6 story high building.
Heights	Support 3 storeys only		Object	Kiama is a beautiful town. The fact that it has not been overdeveloped is part of its charm. Increasing height limits in the Kiama CBD along Terralong St and Manning St from four stories to six stories would be a big mistake, a retrograde step and completely wrong. Kiama should remain a picturesque, idyllic, little town with its iconic lighthouse, world-famous Blowhole, fantastic beaches and stunning scenery. Kiama should never become like Shellharbour, a concrete jungle.
Heights	Support 3 storeys only		Object	My objections to Town Centre DCP. No public exhibition or 3D modelling to fully gauge the proposal 3 storey height should be kept in town centre. Consultation time needs to be longer, at least 3 more months Conflict between heritage and height limits No planning for low cost housing
Heights	Support 3 storeys only		Object	Object to some of the recommendations of raising the current building height in the Kiama CBD from 3 storeys to 4 storeys. Conducted an informal poll on the Kiama Community (Facebook) page. It is NOT what the Community wants for the Kiama CBD. From the ten days this poll has been up (March 18 - 28th), 86 % of responses have been AGAINST raising the current building height to 4 storeys. The community has spoken.
ARTS / Heights / surf club	Support 3 storeys only		Object	Attended studio GL workshops, surprised with heights, only talk of 2 storeys with 3 rd recessed back. Provision for arts, entertainment and cultural activities needs to be included in the DCP under a new objective on page 12. 117. Examples provided. Minimise potential conflicts and achieve compatibility between different uses. Much of Council staff time and ratepayers' money is spent responding to land use conflicts, with legal action being taken from those on either side of the conflicts. The draft DCP needs to include stronger words and additional controls to minimise conflicts and achieve compatibility between different uses. Examples from Wollongong provided i.e setbacks, privacy & amenity. Site F Kiama Surf Club is located clearly on beach front and within the coastal management zone. The Kiama Coastal Management Scoping

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				study rates this sight as at medium risk now, and high risk into the future for coastal inundation, wave overtopping and tidal inundation. The CMP scoping study also states that existing management arrangements are not adequate and advised that a technical study is required to inform management. Coastal Management Plan scoping study needs to be undertaken or the site removed. Deeper community consultation to address listed issues.
Heights	Support 3 storeys only	Object		I object to increasing building height to 6 stories in the Kiama region. There is already limited infrastructure for current residents, the area cannot cope with more. Knocking down perfectly usable buildings does not reflect the councils sustainability goals. Old existing buildings have character and are unique to our local history, these buildings should be better utilised for the community. These valuable community assets should not be surrendered and replaced by cheap generic high rise apartments. Approved new buildings should reflect the character of the area, and designed to compliment the aesthetic style of the area.
Heights	Support 3 storeys only	Object		I object to this proposal as it is an overdevelopment of the town centre. I object on the following grounds. Conflicts with the heritage of the area, the Terralong Street and Hindmarsh Park. The 3 to 4 stories, currently in this area, should be maintained. Extra height limits, 6 to 7 stories will impact traffic, parking and sewerage, which do not cope currently and already cause residents significant problems. Extra residential levels will continue to increase the short term rentals available and not provide permanent or low cost housing options. Need 3D modelling to provide more information and a whole town consultation meeting.
Heights	Support 3 storeys only	Object		I oppose the proposed height increase to developments at Akuna Street and within the town centre. It will irrevocably change the character of the area, to be more prone to high rise overdevelopment.
Heights	Object	Object		My main concern for this is from a fire safety point of view. Is there a brigade close by which has an aerial platform which can reach to the top floor in case of emergency where the escape route is out of action.

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Heights	Support 3 storeys only		Object	Kiama is a community town not a city. Our infrastructure cannot handle developments of this size. Going big will be a loss of Kiama's character.
ARTS / Heights	Support 3 storeys only		Object	Having seen the proposed DCP I wish to object to the proposed 6 story buildings in the CBD in the Akuna St Development. This is totally out of character with our township and would dominate the shops below. I do not wish to see the height raised on shop top dwellings either. With regard to the Akuna St Development, all efforts should be made to save the Independent building for an Arts and Culture space as this iconic building is part of our town's history, and with the help of Cultural Grants can easily be repurposed. To encourage the Evening Economy Kiama Council needs to adopt the Wollongong Solution, thus enabling jobs and businesses to exist without the constant conflict with entitled nearby neighbours, intent on silencing the CBD after 4pm.
Heights	Object		Object	I object to the proposed extra height for the proposed development in Akuna Street because it will destroy the CBD visual effect of the coastal town and the already overloaded infrastructure will not be able to cope with extra dwellings.
Heights / Traffic	Object		Object	Very difficult to assess the plan without 3D modelling. Major objection is the proposed 6 story addition in Akuna Street. Traffic flow in the area will be of major concern as will parking. Readily available transport options such as shuttle bus loops around the town - regular so that you aren't waiting more than 10 minutes - could facilitate congestion
Heights / surf club	Support 3 storeys only		Object	I was on one of the DCP Review Panels in December and there was no mention of 6 stories anywhere. 6 storeys should only be permitted if the building is for commercial use to attract business and create employment locally. The centre of town is the correct place for commercial space, not for more multi-storey residential buildings. Feasibility study suggests Akuna St is not feasible. It will overshadow the north side of proposed plaza. Surf club to be removed pending Coastal Management Plan.

ARTS / Heights	Object	Object	Object	Recent development is uncontrolled development at the cost of Environmental and Social Capital. Development in some form must occur to update ageing infrastructure including that of the Terralong St shopping precinct, existing commercial building cannot prevent impact of heavy rainfall. Government must provide legal standards to ensure buildings are safe and more than just habitable for the expected life of the building. The consultants only suggested 4 stories in certain sections, Council redid this at 6. Concerns noted about Kiama Harbour and urban flooding in old water catchments. Highly profitable commercial hub or a caring successful community with a vibrant commercial, civil, arts and sporting life? Businesses will not survive transition or cost of tenancy. Loss of amenity. Concerns for environmental sustainability. Consideration of future impacts of development is required to protecting the Social and Environmental Capital of the much loved and desirous living conditions that Kiama LGA currently enjoys.
Heights	Object	Object	Object	I believe Kiama is losing its small town heritage. There are large housing estates sprawling all over areas that used to be picturesque and unspoilt. Another eyesore right in the middle of our beautiful town is not desirable to me.
Heights	Object	Object	Object	Oppose 6 stories. It is not the Gold Coast. People come here because of Kiama smaller town aspect and beauty of nature. The leisure centre cannot deal with numbers now. Council needs to think about infrastructure first. This isn't the way to balance their budget by selling off land for extra development.
Heights	Object	Object	Object	Ensure this and all new development incorporates water sensitive urban design principles! The community is swimming in sewerage, which has been a long time problem for Kiama.
Heights	Object	Object	Object	Oppose 6 or 7 storeys for new buildings. This type of development will ruin the look and feel of Kiama. Kiama does not have the infrastructure to accommodate this type of development. There is inadequate parking and roads for this increase in population. Please don't ruin Kiama for the future, remember once it is built it can't be unbuilt.

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Heights	Support 3 storeys only		Object	I oppose the proposed change to increase height limits past 3 storeys (11m). It would destroy the present acceptable built scale of the town that is valued by the community and that attracts so many visitors and permanent residents to Kiama. Strategic Sites & Akuna St being up to 6 storeys will have disastrous impacts on traffic and parking. It will appear as an overbearing block stuck in behind Terralong Street. A 3D model is required to demonstrate visual impact.
Heights	Support 3 storeys only		Object	Kiama is a village township of highly significant First Nation Heritage and 19th Century European Historical Importance to NSW etc. Six Storeys are for cities. The flood prone, natural watercourse (originally rainforest terrain) cannot cope with 6 storey development during flooding season, traffic issues and sewage issues due to limited drainage allowances which would pose health risks.
Heights	Object		Object	I object to the proposals. Short window for community feedback, better consultation and a 3D model is required, height limit does not keep with the town and opens the way for developed to use it to their advantage, caveats on attracting commercial entities with office space only rather than residential high rise buildings that place more pressure on infrastructure, view impacts on properties and devaluing properties. I believe we need to encourage development in a sustainable but measured way. I feel as though Kiama Council are rushing this proposal through without suitable consultation and that isn't their role as representatives of the ratepayers.
Heights	Object		Object	Purchased our property behind Akuna street for amazing views and location. Mention of a 4th storey however Akuna is 6. Would not have purchased if we knew of this development. It will cause impacts on amenity, privacy, view loss and overshadowing. The Akuna Street Development will under value our property by hundreds of thousands of dollars, losing 'water views'. Traffic concerns, safety risk of pedestrians and children walking to and from school. The proposed development does not reflect the low-rise coastal village town centre character, ranging between one to two storeys tall, nor does it complement any striking monuments and memorable heritage buildings and it does not

				maintain the scale and character of the towns historic core. Frustrated, disappointed, and extremely concerned that Kiama will adopt new height limits, in a way that is not transparent. We have never been given the chance to offer any feedback/concerns prior to.
Parking	Object	Object		The Kiama Traffic & Parking Study (Bitzios, June 2021) identified the long term proposal for multi-level car parks in Akuna St on the sites of the currently used public car parking areas. That proposal would have satisfied the parking demand in and around the central activity zone of Kiama, without the need for remote and difficult to access car parks suggested for the periphery of the central activity zone. The Kiama DCP review now proposes that only the existing number of car parking spaces will be retained under the new development proposals. The balance of car parking will be assigned to the commercial/retail/residential uses and will permanently destroy the opportunity for multi-level public car parks recommended in the Kiama Traffic and Parking Study. Hence the opportunity to provide for additional public car parking that will be needed to cater for increased demand with increased visitations to Kiama will be permanently lost.
Heights	Object	Object		I object to the proposal site of the Proposed Akuna St Development. In keeping Kiama as it currently is we need to preserve the heritage and the land of Kiama and not let developers create unrealistic infrastructure. We need to think about what type of community we are leaving for future generations, and what is proposed does not support our town by letting developers win and do what they want. So lets preserve Kiama. The other reason why this should not happen, think of what this will do to our environment and to the population of Kiama. The surrounding area of Akuna Street development is not a viable place for any building to be constructed, the roads and the environment around this is not keeping with the Kiama that I have grown up in for the last 25 years.
Heights	Support 3 storeys only	Object		Better consultation process is required with 3D modelling and discussion. 3 storey height is enough - the strip opposite the Main Beach with the mix of 3 and 4 storeys is not attractive and lacks character - how much worse it will be if it was another storey. Not in the community interest, it's Commercial interest. The town itself is still charming, proposals to raise

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				levels and put in more shops/shopping centre are ugly. The Akuna Street should not be receiving any extraordinary variations from 3 storey. If this site can be raised, why should we think that any other block cannot be given the same exception. My largest concern is a 'marketable opportunity', the exception becomes the law, and that the town centre's boundaries - which already are quite fluid, are moved to serve commercial interests of developers and not the community desire for living in an attractive town.
ARTS / Heights	Object		Object	I oppose changes to building height. Landlords are failing to maintain their buildings, a full building inspection should be conducted first. As a business owner I have suffered as buildings not kept compliant. No changes to building heights should be made until such time as resources such as models are used to show how any change will affect current residents and future development heights. 3DPrinting is a good solution. Shadowing needs to be seen as an example. Filmores in Kiama is a great example of complaints for noise at any time by nearby residents. If we want a vibrant town with Arts and Culture, Entertainment, then this needs to be considered in the Planning stage. KTC needs better lighting. Why place Akuna street up for sale immediately before accepting a Financial Advisory committee and as well as not having the heights confirmed as to any height change.
Heights	Object		Object	We live up the road from Akuna St and already have problems with parking and traffic. The proposed size and height will change Kiama into a Sydney suburb with no character. There are only two major roads in this town already with traffic jam problems and parking problems. Can we not adopt a Bryon Bay decision which restricts high rise buildings and keeps them back from the town centre at the back of the town so the heritage homes are still the main feature of the beach. Their high rises are only 3 storeys I believe. This development is being driven by greed of developers and council with no thought for town residents or the character of the town.
Heights	Object		Object	I am very concerned around the proposed raising of height limits of 3 and 4 storeys. 3D modelling is required to show a clear picture of the impact of proposed changes on sight lines, etc. The heritage character of the

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				town centre, and 'small town' feel is important to be maintained. We don't want a Gold Coast feel. The impacts on parking, traffic and pedestrian safety of any proposed changes to building sizes and footprints must be carefully considered and articulated by Council (eg withdrawn proposal for the corner of Collins St and Terralong St).
Heights	Object	Object	Object	I object. An increase in maximum height/levels is not consistent with the local character and appeal of the township, loses heritage and threatens tourism. Not in the best interest of voters and ratepayers who voted standing members of council in. In so many facets of council policing of small residential/home developments, tree preservation etc are council willing to refer to cultural significance, character of the landscape and town etc. If councils aim is to increase high density and erode the character which residents love make this clear to voters prior to the election to see real community appetite.
Heights	Support 3 storeys only	Object	Object	I object to proposed height limit increase from 11m to 14m for selective areas around the Kiama CBD. Kiama is a landmark type of place due to its natural beauty; friendly and welcoming community; well preserved historical buildings; lack of overdevelopment, limited high rise and no traffic lights! Confirm this through a survey. The stated Objective of the Draft DCP is to provide a "...dynamic and activated place to live and work in..." We fail to see how an increase in building height levels would in any way help achieve the stated Objective. Noted that Council staff were surprised when increased height controls were first suggested. Council did a fantastic job in the Land and Environment Court in halting the proposed height increase well over the 11m limit on the old motel site in Bong Bong Street. This is a reversal. A 'wall' refers to solid structures with no setbacks. A better option is to have LOWER height limits on the waterfront locations and perhaps allow justifiable higher limits away from the waterfronts. Not clashing with nearby historical buildings and with no or minimal adverse impact on the neighbourhood. An extra storey being "viable, feasible..." Our response is for whom? Not the community.
Heights	Object	Object	Object	The proposal would remove from the Kiama community access to a unique piece of land that could be used to promote the township. This area would be ideal for a viewing platform of the harbour and / or an

Local Infrastructure Contribution Plans – Engagement Summary

				<p>elevated walkway around the headland along the existing road corridor. The proposal to sell private to the existing neighbour, who is reportedly the person responsible for illegally clearing the land, does not sit well with me as a display of proper governance of our public assets. To restore faith with the community, these types of deals, including Kiama Council fencing this land off at our(the ratepayers) expense, and then selling the land privately, must stop immediately. A concerted effort to ensure public land remains public and accessible to all must be very visible action undertaken by the new council.</p>
Heights	Support 3 storeys only	Object	Object	<p>Attended the consultation sessions and review panel workshops. Do not recall discussion of blanket raising of heights or 6 storeys. Only some sites warranting 4 storeys. The inclusion of upper storey setbacks was also deemed to be a positive measure but to a maximum of two storeys with a 3rd setback. The proposed 6 storeys on Akuna St is a shock. The bulk and form that is allowable under the new controls will alter the look and feel of the town irrevocably.</p>
ARTS / Heights	Support 3 storeys only	Object	Object	<p>Opposed to 4 storey street-face style development. Cap at 3 storeys to prevent loss of light and sense of space. Appalled at Akuna St being 6 storeys. The site is already elevated well above the level of Terralong Street and would tower above the area, dominating the skyline. Parking and congestion issues need to be properly addressed. If housing is to be offered in this development, provision must be made for low cost housing for low socio-economic residents. A better idea for the Akuna Street site (and at less cost) would be the refurbishment of the existing former Kiama Independent building as performance space for music and other performing arts.</p>
Heights	Object	Object	Object	<p>We decided to sell a few weeks ago and scale down because our income has been considerably affected by Covid and lack of business. The moment we decided to sell our property and signed a contract with the real estate agency, two days later the notice board from Savillis was displayed on the cnr. of Akuna and Shoalhaven Streets. This has jeopardised our sale opportunity in a big way, especially the</p>

statement on the board "Current planning on exhibition to increase height to a maximum of 6 storeys" !!!				
Heights	Object	Object	Object	<p>Terralong St. main street is a unique boulevard in true French tradition, let's keep it that way. Adding additional upper storeys that are "bald-faced" to the street will alter the whole character of Town centre. The Jazz and Blues Festival was a recent example of how the town comes to life if pedestrians are given a fair go. Why not turn Terralong St. into a pedestrian only mall..... I remember Cronulla main street in my youth before it was turned into a mall....madness! Hopefully consideration has been given to loss of amenity (light in particular) that would follow in the street area. As a trade-off if the set -backs are incorporated they could be in the nature of Public areas of access for dining or other passive activities.</p>
ARTS	Object	Object	Object	<p>I am a young person living in Kiama. There is very little for me to access culturally in this township & I am requesting the DCP includes "the Wollongong Approach" to arts, culture & the evening economy.</p>
Heights / DCP	Object	Object	Object	<p>I do not agree with the proposed changes to building heights and set backs. They will change the character of the CBD from being a coastal village to a large high-rise urban setting. Kiama will lose its identity. These proposed heights are not consistent with our WHO Healthy Cities membership in several aspects. These suggestions, I believe, would dominate the streetscape, overwhelm the beauty of the township & consequently opportunities for tourism, livability and an evening economy based on music & cultural activities. I would like to see more decisive inclusion for renewable energy, for sustainable living, for greater green space and clear commitment to the encouragement for pedestrians, bikes, electric bus or buggy possibility for regular movement through the township and less emphasis on the car & parking. The proposed shuttle bus during holiday season should occur all year round.</p> <p>I agree with the civic spaces and provision for trees and in particular retention of existing mature trees is inline with the KMC ethos. I do believe we can do better. Plant more. Re-plant the red cedars. We know that green spaces make people happier. The old Independent Building</p>

				should be retained and reactivated as a creative arts space for film, performance, exhibitions, gatherings and social connection. A more diverse vibrant night time economy with cultural and entertainment facilities, and restaurants and bars is seen as desirable. Agree with uplighting of trees, heritage and public art. Ensuring that buildings provide well-designed ground floors with 'active' frontages to the public domain will be critical for the future success of Kiama's town centre.
Heights	Object	Object	Object	<p>Strongly object. Controls will significantly impact existing character of the KTC, one that is appealing and unique and draws tourists. Destroying this character could have drastic economic consequences for our area. How does Council intend to maintain this low rise coastal village character with the changes proposed in this control plan? Concerns raised regarding 0m setback, how will restaurants, cafes and markets operate within this setback. solar issues, restricts future planning i.e road use. The 100% site coverage identified in Control 12.7.48 does not encourage or promote provision of natural green space, yet the street plantings were identified as a key part of the character of the streetscape.</p> <p>Feedback provided for control 12.7.77, 12.7.78, 12.7.79, 12.7.101, 12.7.95, 12.7.107, figure 28, objective 12.7.98, control 12.7.131</p> <p>Finally, the height limits across multiple precincts and street wall frontages identified in this control plan will change the amenity and experience of residents and visitors to the town centre considerably. I oppose these changes and recommend revision and reduction of these height limits to maintain the low-rise village character of the Kiama township. Building the Akuna Street site to six storeys contradicts the statements made in other parts of the control plan about ensuring development is not 'out of scale' with the local area. I strongly oppose the over-development of this site to 6 storeys and other precincts to 4 storeys and strongly encourage the council to reduce the height limits on these sites.</p>

Heights	Object	Object	Object	<p>In general, I am supportive of the Kiama Town Centre DCP draft. It will provide stronger controls to meet many of the desired outcomes expressed by the community at large over many years.</p> <p>Suggestions:</p> <ol style="list-style-type: none"> 1. Provision for arts, entertainment and cultural activities – proposed new objective for arts. 2. Minimise potential conflicts and achieve compatibility between different uses – suggestions from Wollongong DCP provided for side and rear setbacks, acoustic privacy and amenity. 3. Site F – Kiama Surf Life Savings club. CMP to be completed first. 4. Community engagement process and feasibility analysis transparency
Active Street Frontages	Object	Object	Object	<p>Objection specific to 42 & 44 Manning street active street frontages. The following issues are addressed in greater detail.</p> <ol style="list-style-type: none"> 1. The frontage of 44 Manning Street should not be included as a 'primary active frontage' in the Draft DCP; 2. The 'desirable future vehicular link' connecting Manning and Terralong Streets will impact on amenity; 3. The proposed increase of maximum building heights on Manning Street will lead to a loss of amenity to our client and surrounding buildings; and 4. The Draft DCP should ensure there are appropriate noise management controls in place for current/future premises' playing music.
Tavern	Suggestion			<p>The harbour is run down and would benefit from a Tavern there. Possibly in place of Cargos which is run down and unsightly</p>

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KIAMA TOWN CENTRE
AKUNA STREET
Options Study

August 2022

Prepared by Studio GL for Kiama Municipal Council



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Note: This document takes into account the particular instructions and requirements of our client. It is not intended for and should not be relied upon by any third party and no responsibility is undertaken to any third party. The report layout is designed to be printed at A4 portrait.



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Options Considered

1.1. Overview

The July 2021 Report, *Kiama Town Centre DCP Review – Summary Report*, identified the large Council owned site at Akuna St as a key strategic site for the future development of the Kiama Town Centre.

This site currently comprises Council car parking, a former hardware store fronting Terralong St, and commercial properties fronting Shoalhaven Street.

This site has been identified as a location for a second supermarket, specialist retail and commercial floor space, and retention of the public car parking. The provision of residential units above the retail / commercial ground floor uses is also considered advantageous for the vibrancy and diversity of the town centre. The opportunity to provide a large civic open space in this location was also considered beneficial. Other considerations included the retention of the majority of the existing trees along Akuna St and the provision of a rear laneway between the site and the properties fronting Terralong St (with access to the upper level of Terralong St properties due to the topography).

The following pages show potential 3D massing and built form options for the site which have been used to investigate the impact of additional height on streetscape, overshadowing and view loss. A series of views taken from the 3D model have been included to help illustrate the impact of the different height options from a series of key vantage points around the Kiama Town Centre.

Note: To more clearly illustrate the different built form options, existing trees/ vegetation have not been shown in each of the 3D views. In reality, existing trees will also impact the views and perceived bulk and scale of any new development on the site.



OPTION A

This option applies a generally 3 storey built form across the site in accordance with the existing maximum building height for the site. A fourth storey has been added directly to the south of Akuna St as the impacts are reduced due to the sloping topography.



Figure 1 Aerial View (Option A) with annotated building heights (DCP storeys)

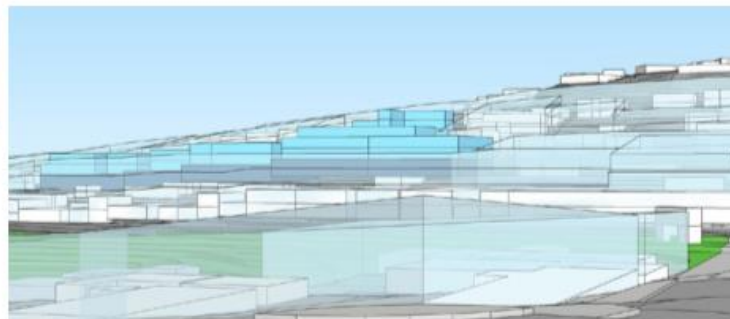


Figure 2 View south from the intersection of Minnamurra St and Collins St

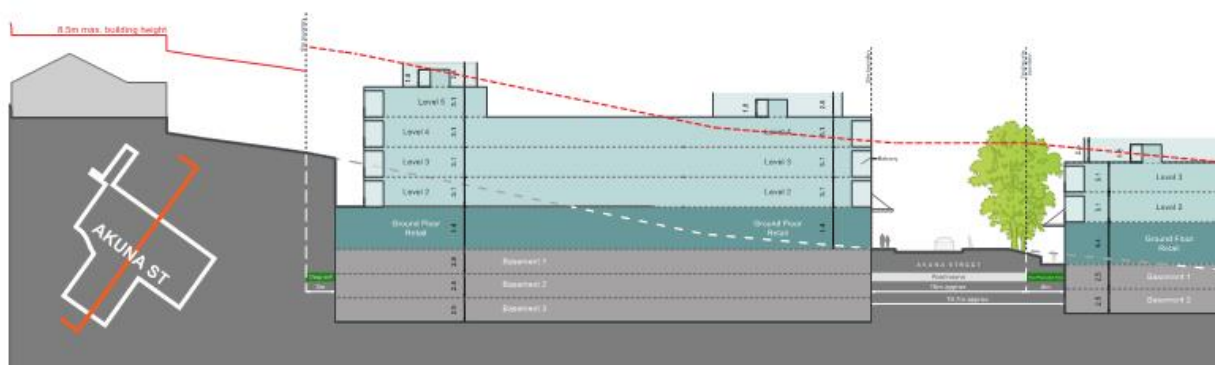


Figure 3 Cross Section



Figure 4 View from Hindmarsh Park



Figure 5 View east along Terralong St

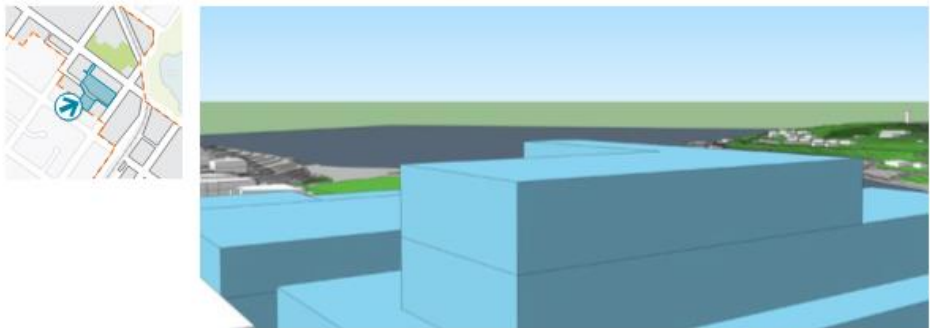
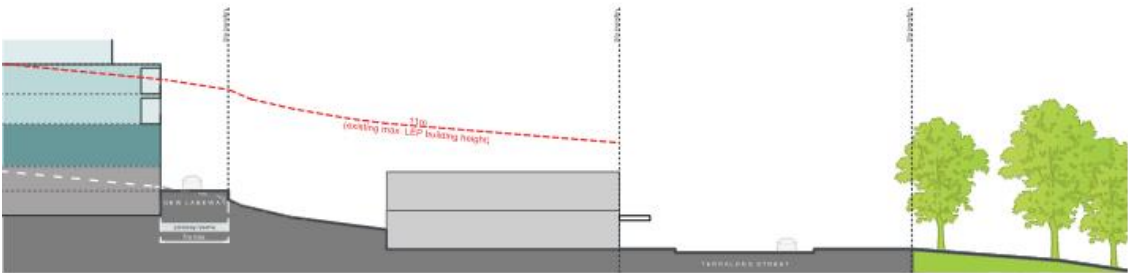


Figure 6 View north-east from rear of Bong Bong St properties



OPTION B

This option applies a mix of 3 to 6 storey building heights across the site. The built form steps down along sensitive interfaces such as along Shoalhaven St and towards Bong Bong St. The consolidation of GFA into taller buildings allows for the creation of a new centralised public open space. An 'L' shaped built form has been shown to the south of Akuna St to increase separation from the existing apartments at 10 Akuna St and reduce the impact on views.



Figure 7 Aerial View (Option B) with annotated building heights (DCP storeys)

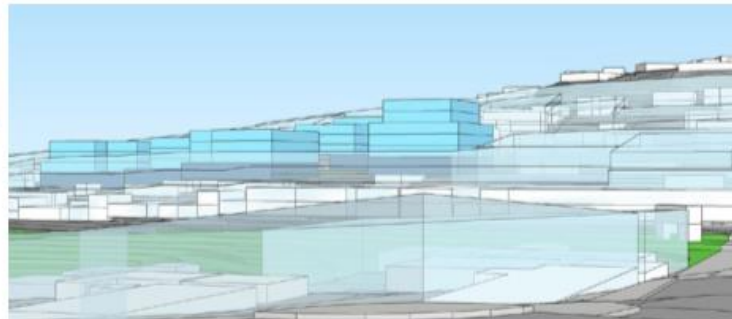


Figure 8 View south from the intersection of Minnamurra St and Collins St

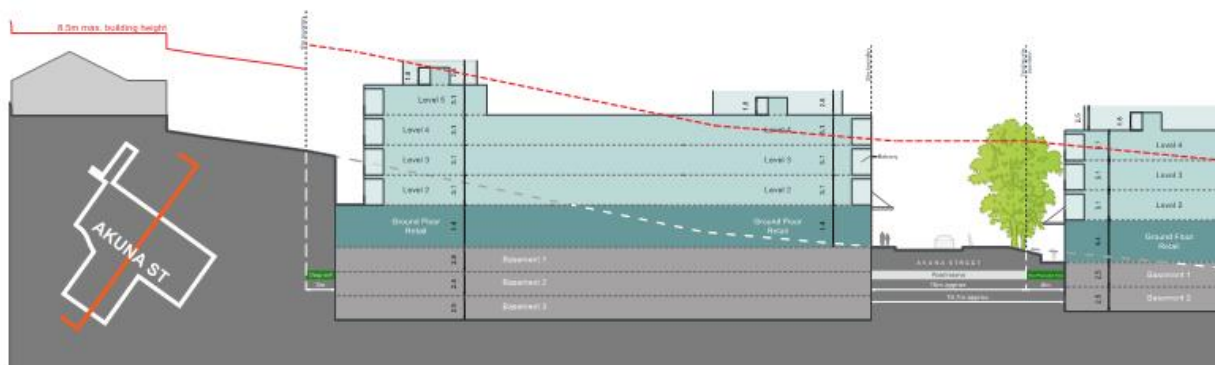


Figure 9 Cross Section

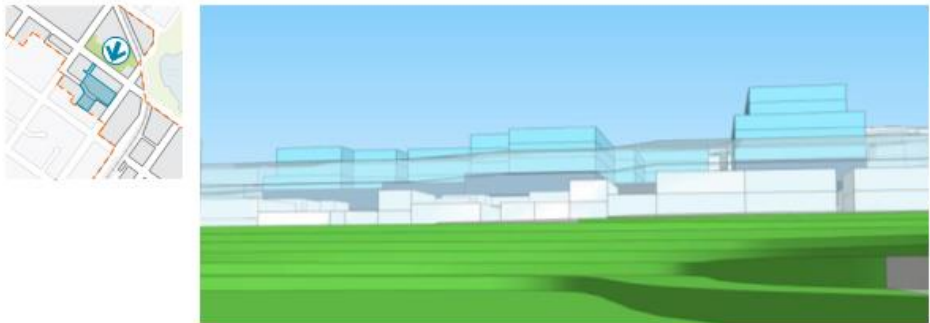


Figure 10 View from Hindmarsh Park



Figure 11 View east along Terralong St

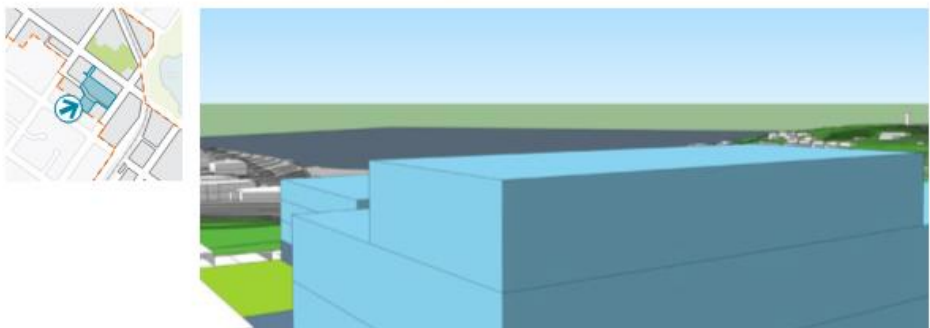
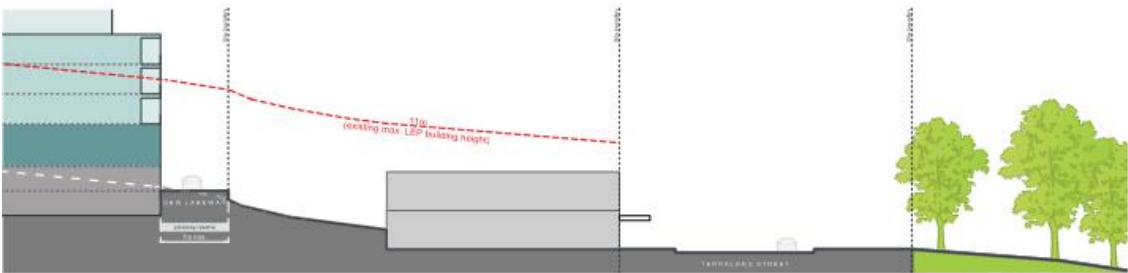


Figure 12 View north-east from rear of Bong Bong St properties



OPTION C

This option considers a mix of 3 to 6 storey building heights across the site. A fifth storey has been added to the built form towards the centre of the site where its visual impact and overshadowing on neighbouring sites is reduced. A new centralised public open space could also be provided.



Figure 13 Aerial View (Option C) with annotated building heights (DCP storeys)

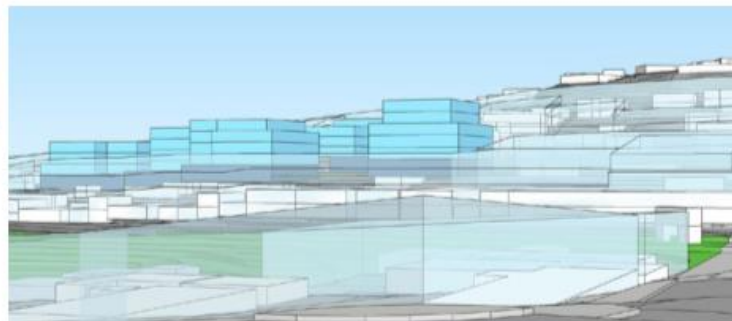


Figure 14 View south from the intersection of Minnamurra St and Collins St

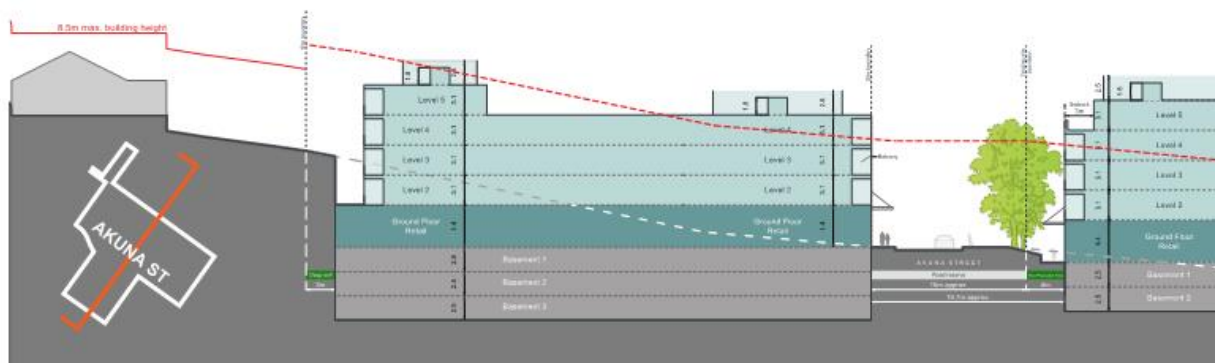


Figure 15 Cross Section

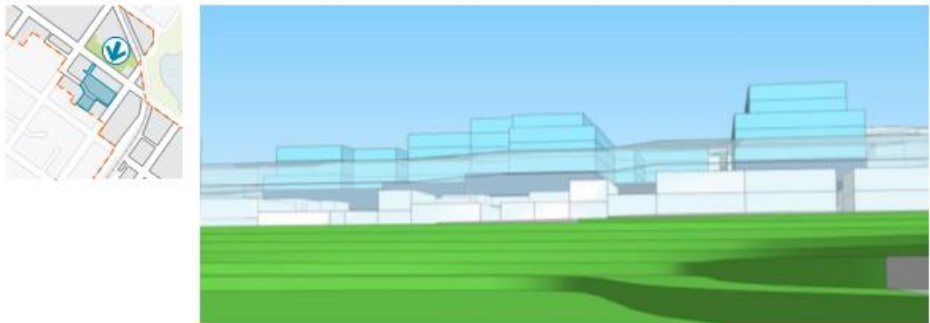


Figure 16 View from Hindmarsh Park



Figure 17 View east along Terralong St

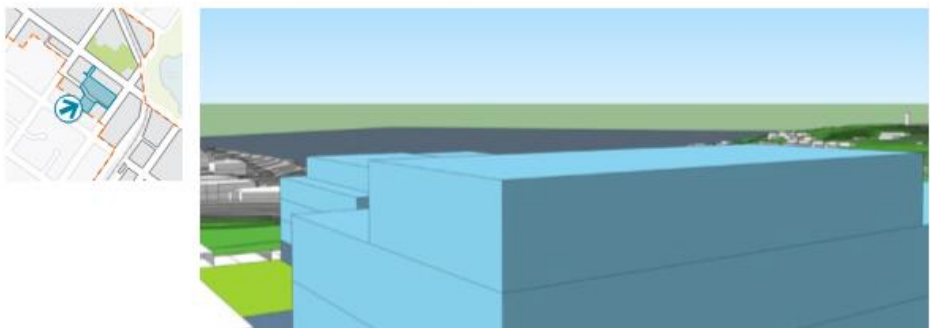
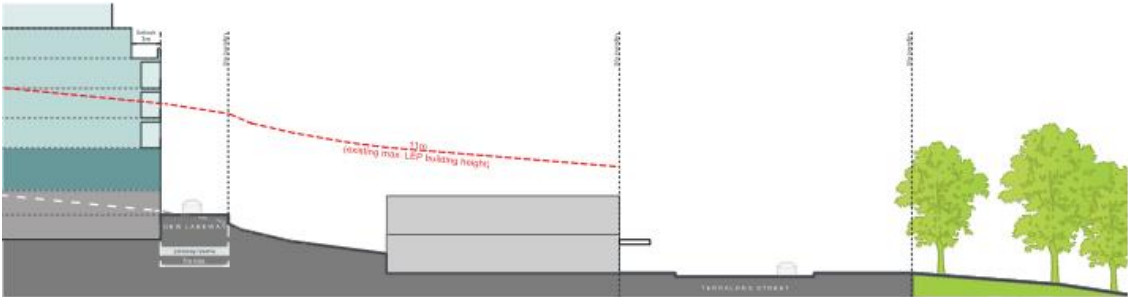


Figure 18 View north-east from rear of Bong Bong St properties



OPTION D

This option considers a mix of 3 to 6 storey building heights across the site with additional height proposed towards the centre of the site. The upper storeys of the 6 storey developments are setback to increase the building separation, protect key views and enhance solar access to the public open space.



Figure 19 Aerial View (Option D) with annotated building heights (DCP storeys)

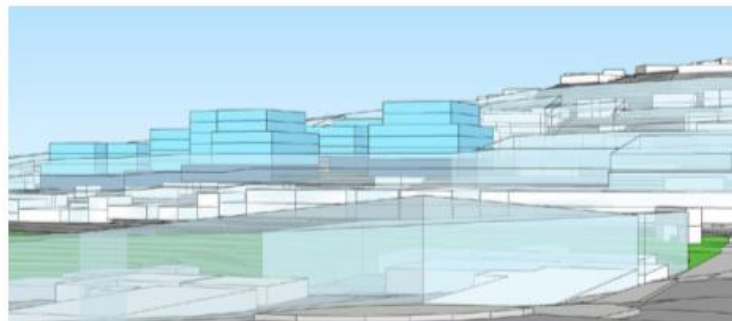


Figure 20 View south from the intersection of Minnamurra St and Collins St

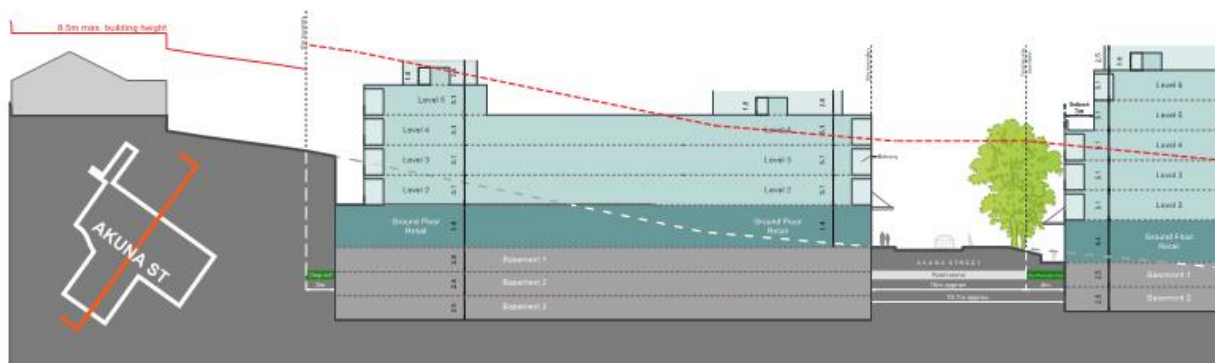


Figure 21 Cross Section

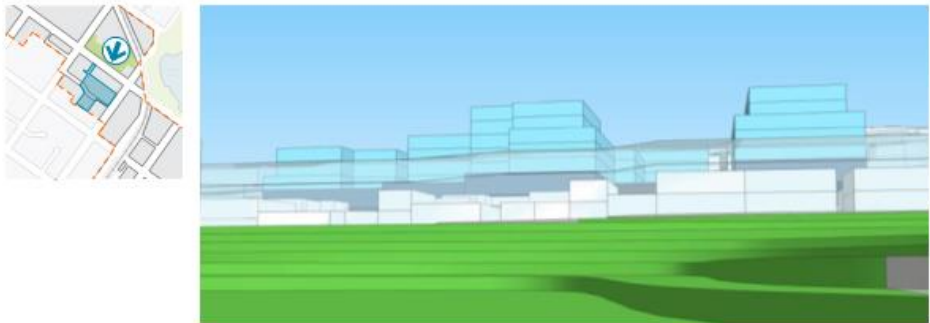


Figure 22 View from Hindmarsh Park



Figure 23 View east along Terralong St

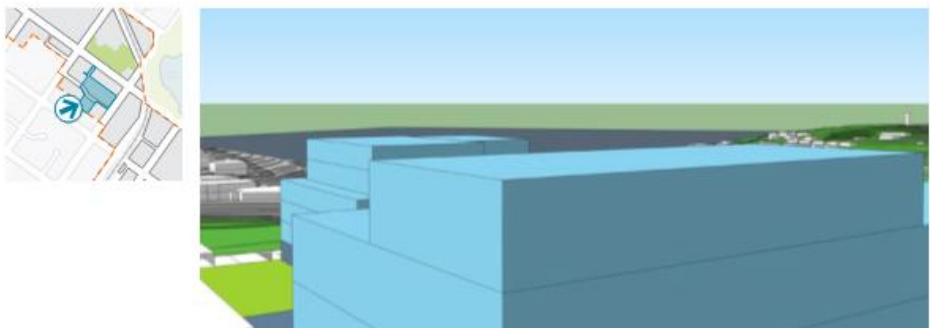
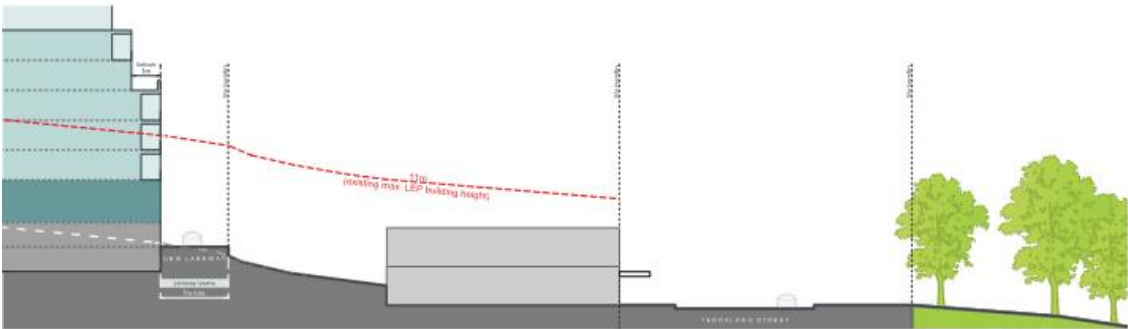


Figure 24 View north-east from rear of Bong Bong St properties



OPTIONS CONSIDERED

1.2. Conclusion

The four options explored provide additional detail to help inform appropriate planning controls for the Akuna Street site. The options investigate a series of different heights across the site ranging from 3 to 6 stories and help demonstrate the impact of additional height on the streetscape, overshadowing and view loss. All options considered the retention of existing trees (where possible), retention of public car parking, re-alignment of Akuna Street and the introduction of a rear access laneway behind the Terralong Street properties.

Following the study, Studio GL has a preference for Option C as it best responds to the topography of the local area.

Option C features a mix of 3 to 6 storey mixed use development distributed across the site. The proposed increase of building heights for the site provides the opportunity to distribute the site's potential floor space within smaller building footprints and provide additional amenity such as the retention of existing trees, inclusion of rear laneway access, provision of public open space and straightening of the Akuna Street road reserve to increase visual and physical legibility.

The proposed centralised public open space is located to maximise northern sun and capture views towards Hindmarsh Park and Kiama Harbour. It could be accessed via a potential through-site link from Terralong Street. Active frontages are desired along any buildings facing the open space to help activate the ground level in this location with cafes, dining or other retail uses.

Development on either side of the proposed central open space is recommended to feature upper level setbacks to further increase the separation distance between these buildings as seen in Figure 26. The separation distance also serves to break down the bulk and scale of the development and improve key views and solar access across the site.

Due to the varied topography across the site, it should be noted that the 5 and 6 storey



Figure 25 Aerial perspective of preferred Option - C

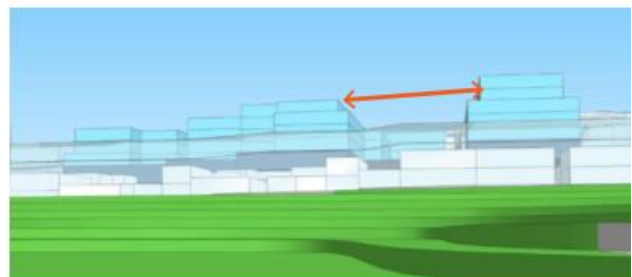


Figure 26 Upper level setback to increase proposed building separation and increase view corridor as viewed from Hindmarsh Park

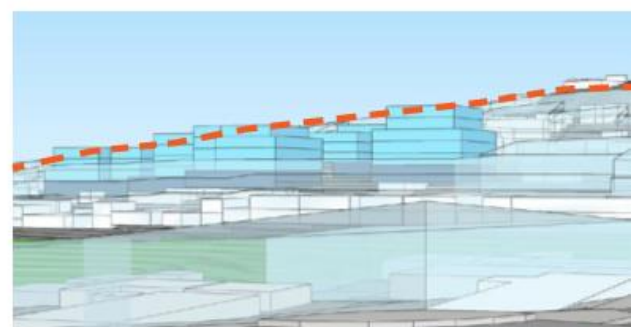


Figure 27 The built form of Option C follows the topography of the region and steps downwards to Shoalhaven St - as viewed from the intersection of Minnamurra St and Collins St

developments on either side of the open space are measured from street level at Akuna Street. From the Terralong Street rear laneway, these buildings may appear 6 and 7 storeys in height due to the sloped level change. Any potential changes to LEP height controls for the site will also need to consider the site's significant topography and ensure proposed maximum building heights account for variations in slope.

The proposed bulk and scale is focused around the centre of the site with lower building heights along the sensitive interfaces towards Shoalhaven Street and Bong Bong Street. A 6m setback is recommended along the existing neighbours' boundaries to provide opportunities for landscaping and help to reduce overshadowing and privacy impacts. A two storey street wall is proposed along Shoalhaven Street to continue the proposed street wall height within the Harbourside Precinct.

The proposed building envelopes in Option C achieve an appropriate integration into the existing topography of the site. As seen in Figure 27, the proposed Option C building heights respond to the existing topography of Kiama and step downwards towards Shoalhaven Street. In comparison, the inclusion of additional storeys in Option D results in noticeable bulk and scale protruding over the ridge line. It should also be noted that existing mature trees and vegetation will obscure the views to and from any proposed development at Akuna Street.

It is recommended that any additional storeys over 4 storeys, considers view sharing and view loss for the existing neighbours, particularly for Bong Bong Street properties to the rear of the site. To the south of Akuna Street, an 'L' shaped built form has been suggested to help reduce impacts on neighbour's views from 10 Akuna Street, however additional storeys may be considered subject to detailed view analysis based on accurate site surveys.

The proposed built form and site layout for Option C are reflected in the recommended DCP controls shown in Figure 28.



Figure 28 Proposed DCP diagram for Option C





Kiama Development Control Plan 2021

Chapter 12. Location Specific Controls



12.7 Kiama Town Centre

DCP REVIEW prepared for Kiama Municipal Council.
Prepared by Studio GL



RESPECT



INNOVATION



INTEGRITY



TEAMWORK



EXCELLENCE

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Topic 12.7 – Kiama Town Centre

These additional controls apply to the Kiama Town Centre.

This precinct is important within the wider Kiama region, and the following additional controls will guide development in this area.

Role of the DCP

A Development Control Plan (DCP) is a *design guideline* for future development. Therefore, it provides controls for proposed developments that are permissible within a zone.

The Local Environmental Plan (LEP) is the mechanism for facilitating Land Uses.

Furthermore, a DCP is only called upon for development on private land. The DCP intentionally excludes the Kiama Harbour Area as this is predominantly owned by Crown Lands and managed under the soon to be adopted Plan Of Management

Division 3.6 Development control plans of the Environmental Planning and Assessment Act 1979 outlines the purpose and status of development controls plans in section 3.42;

3.42 Purpose and status of development control plans

- 1) *The principal purpose of a development control plan is to provide guidance on the following matters to the persons proposing to carry out development to which this Part applies and to the consent authority for any such development*
 - a. *giving effect to the aims of any environmental planning instrument that applies to the development,*
 - b. *facilitating development that is permissible under any such instrument,*
 - c. *achieving the objectives of land zones under any such instrument.**The provisions of a development control plan made for that purpose are not statutory requirements.*
- 2) *The other purpose of a development control plan is to make provisions of the kind referred to in section 3.43(1)(b)–(e).*
- 3) *Subsection (1) does not affect any requirement under Division 4.5 in relation to complying development.*

Local Infrastructure Contribution Plans

Council collects contributions from developers to help fund public infrastructure.

Contributions are applied to a development as a condition of consent over certain thresholds.

Contributions help fund public infrastructure projects that benefit the community such as roads, footpaths, community facilities, parks, sportsgrounds and more.

The funds Councils collects may only be spent on the facilities as outlined in our Contribution Plans.

The amount payable is based on the type, cost and location of the development.

Our adopted Contribution Plans detail how contributions are levied;

Kiama Municipality Contribution Plans:

- *Planning Agreements Policy*
- *Section 7.11 Contributions Plan No.1 Municipal Wide*
- *Section 7.11 Contributions Plan No.2 Northern Region*
- *Section 7.11 Contributions Plan No.3 Southern Region*
- *Section 7.12 Contributions Plan*

Kiama Town Centre Area map



Figure 1 Map of Kiama Town Centre

Objectives

- | | |
|-----------|---|
| O:12.7.1 | To expand the role of Kiama as a regional focus of cultural and historic significance; |
| O:12.7.2 | To encourage and increase opportunities for mixed use development (i.e integrated residential/commercial) within the Kiama Town Centre; |
| O:12.7.3 | To maximise the physical advantages and the opportunities that the Kiama Town Centre and individual sites present, including views to the Harbour, escarpment and coastal scenery; |
| O:12.7.4 | To encourage the retention and refurbishment of buildings of heritage and/or architectural significance and their use for civic purposes; |
| O:12.7.5 | To ensure that all buildings are developed and located so that they do not unduly prejudice the daylight or privacy available to any adjoining land which is used or could be used for residential purposes; |
| O:12.7.6 | To create a central civic space/square for the Town Centre; |
| O:12.7.7 | To define more focused entries to the town via landscaping and appropriate built form at: <ul style="list-style-type: none">• the northern entry along Collins Street;• the southern entry along Manning Street; |
| O:12.7.8 | To improve pedestrian access within the Town Centre for all people including those with disabilities; |
| O:12.7.9 | To further develop an integrated landscape theme and network within the Kiama Town Centre; |
| O:12.7.10 | To encourage all development proposals in the Kiama Town Centre be prepared by qualified designers including Architects, Landscape Architects and Urban Design Consultants; |
| O:12.7.11 | To promote consolidation of the Kiama Town Centre; and |
| O:12.7.12 | To encourage site planning and building design which maximises solar access to the building and private open space areas. |

Existing Character of the Kiama Town Centre

The Land

The Kiama Town Centre is located at the base of taller ridges and edged by the Kiama Harbour and Kiama Surf Beach. The character of the town centre is influenced by this dramatic topography which surrounds the town centre and shapes its visual boundaries.

The landscape tends to dominate the built form of this coastal village, with views to the beaches, harbour and ocean available from buildings, streets and parks. Access to the Kiama Blowhole, a key local tourist attraction, is via the town centre.

The town centre is well landscaped with large trees on both private and public land. Some of the tall Norfolk Island Pines are over 100 years old and other trees native to the area are rainforest trees including large figs and cabbage tree palms. These trees provide shelter, shade, formal definition and identity to the Kiama Town Centre and should be protected.



Urban Form

The original grid layout and street pattern is an important consideration when planning future development in the Kiama Town Centre. The grid layout provides flexibility, defines public space, and creates the framework for significant monuments and buildings within the Town Centre.

The grid layout also highlights Kiama's dramatic topographical form, connects to the Harbour and facilitates picturesque views from Terralong Street and Manning Street and from streets perpendicular to Terralong Street (including Collins, Shoalhaven and Manning Streets).

In addition to the primary 'grid' streets Kiama has a small network of laneways and smaller streets. These have traditionally had a private service access role but provide an opportunity to provide vehicular and service access to properties away from the primary pedestrian routes of Terralong, Collins and Manning Streets. The civic quality of the centre is currently compromised by this need for access to premises which interrupts pedestrian flows and creates a loss of activity and uses at the ground floor. There is an opportunity to increase the number of laneways and improve the quality of this secondary network with appropriate planting, painting, public art and street furniture so that these laneways are a more integral part of life in the Kiama Town Centre.

Public access (including universal access) should be maintained to all of the coastline area surrounding the Kiama Town Centre and existing open space areas.



Built Form

Existing buildings generally reflect a low rise coastal village town centre character. Building heights range from one to four storeys tall. Taller buildings are often located next to beaches and the harbour and in areas with views of these key features.

Corner buildings and the siting of civic institutions provide important edges to any town with a regular grid structure. Generally, properties along Terralong Street do not have a front setback which contributes to a strong and continuous retail edge along the street. Some heritage buildings have a strong civic presence while others are setback from the street.



Public Open Space

A network of attractive coastal open spaces currently exists in Kiama including Blowhole Point, Bombo Beach, Pheasant Point, Black Beach, Church Point, Storm Bay, Hindmarsh Park, Coronation Park and Kiama Showground. Historically these open spaces have not been seen as a cohesive network but as separate locations further enforced by a lack of pedestrian connections between the different open space areas.

The life and interest of the Kiama Town Centre, for pedestrians, relies on attractive built form and continuous active uses along footpaths and facing areas of open space. This is particularly important along Terralong, Collins and Manning Streets and around existing open air areas such as Hindmarsh Park. Restaurants, cafes and markets should be encouraged to activate the footpath and Town Centre wherever possible and practicable.



Desired Future Character of the Kiama Town Centre Precinct Areas

The Kiama Town Centre Study (2019) identified three Precincts in the Town Centre, the 'Westend', 'Harbourside' and 'Surf Beach' Precincts (shown below) which each feature their own unique qualities, character and heritage. To achieve an outcome that respects the valued characteristics of the Kiama Town Centre, new development is to consider the vision and desired future character of these existing Precincts as outlined below.



Figure 2 Kiama Town Centre Precinct Areas

Westend Precinct

The Westend Precinct encompasses the Kiama Village Shopping Centre, the Kiama Leagues Club, the large Blue Haven Aged Care facility, with associated independent living units, and the Kiama Public Primary School. This Precinct is primarily a destination for locals and provides services and facilities that support the local community.

Character

This Precinct is located at the north western end of Terralong Street and has district views towards the harbour and the escarpment. Along Terralong Street, the street wall is predominantly 2-3 storeys high and includes some large recent developments. To create a consistent active streetscape it is desirable for buildings with ground floor retail to be built to the front boundary, however this has not occurred consistently across all frontages within the Westend Precinct. New development within this Precinct should aim to establish a 0m front setback but must also consider the setback of adjacent sites to create a front setback that is sympathetic to neighbouring sites.

Objectives/ Vision

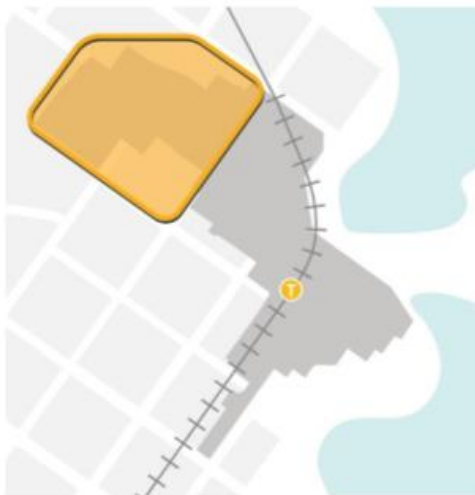
- O:12.7.13 Establish a strong gateway and entry into Kiama from the west.
- O:12.7.14 Prioritise pedestrian amenity and connectivity along Terralong Street by minimising the impact of carparking and loading access.
- O:12.7.15 Encourage a consistent 3 storey street wall with active uses at the street level.
- O:12.7.16 Explore opportunities to create additional and/or shared car parking facilities within larger redevelopments that support the wider Town Centre.
- O:12.7.17 Protect existing harbour and escarpment views.



Figure 3 Westend signage along Terralong St



Figure 4 Looking west along Terralong St towards the Westend Precinct



Harbourside Precinct

The Harbourside Precinct is the main destination for visitors and tourists and is a prime driver for the economic viability of the town. The precinct encompasses the Harbour, Black Beach, the proposed future Arts Precinct, Hindmarsh Park, the Train Station, two blocks of predominately retail premises along Terralong St, and the historic core at the intersection of Terralong and Manning Streets.

Character

Fortunately many of the fine public buildings and monuments in the Kiama Town Centre have been retained and are generally consolidated into one main civic area within the Harbourside Precinct. The state listed heritage Kiama Post Office is a critical landmark in the Town Centre and is located within this Precinct.

Along Terralong and Manning Streets, the built form in this Precinct is characterised by one to two storey buildings with suspension hung awnings being the predominant canopy form. This streetscape character should be retained.

Objectives/ Vision

- O:12.7.18 Strengthen the Precinct as a tourist destination that engages with its proximity to the harbour and potential waterfront views.
- O:12.7.19 Respect the heritage with new development that is sympathetic and compliments the existing built form.
- O:12.7.20 Retain the streetscape character and scale along Terralong and Manning Streets.
- O:12.7.21 Increase public visual and physical access to civic buildings and open spaces.



Figure 5 Manning St properties in the Harbourside Precinct



Figure 6 Two storey properties along Terralong St in the Harbourside Precinct



Surf Beach Precinct

The Surf Beach Precinct encompasses Surf Beach, Kiama Surf Life Saving Club, The Pavilion, the Oval, St Peter & Paul Catholic Church and Primary School, and the Medical Centre and pharmacy located on Manning Street. Coronation Park, located adjacent to Surf Beach, is the venue for the popular weekly Farmers Markets.

Character

This Precinct is the location of recent large developments in the centre, which provide a mix of retail, commercial and residential uses. These developments define a three storey street wall as a key characteristic within this Precinct. The significant number of mature Norfolk Pines along Manning Street also create a strong sense of vertically. New development should reflect a vertical fine grain proportion in the architectural articulation along the street.

Objectives/ Vision

- O:12.7.22 Protect physical connections and key views to Kiama Surf Beach.
- O:12.7.23 Explore opportunities to further activate Coronation Park while retaining its amenity.
- O:12.7.24 Retain landscape character including Norfolk Pines along Manning Street.
- O:12.7.25 Strengthen street level activation with shopfronts that are level with the footpath along Manning Street.
- O:12.7.26 Encourage vertically expressed facades and façade elements rather than horizontally dominated built form.



Figure 7 Surf Beach Precinct



Figure 8 Looking south along Manning Street towards the Surf Beach Precinct



Heritage

Refer also to DCP 'Chapter 4 – Heritage and Cultural Conservation' for additional requirements.

There have been several recent developments in Kiama that demonstrate the sensitive re-use of heritage forms in a new physical context. Whilst it is critical to consider the strong heritage background of the Kiama Town Centre, the value of well-designed development cannot be stressed strongly enough whether the buildings are designed in a heritage context or not. For this reason it is imperative that qualified design professionals be consulted at all stages of the development process.

The diversity of the architectural character and form existing within Kiama provides a large base from which future building designs may draw. Prominent themes readily observed in the Town Centre include:

Colonial Simplicity (Terraces, Quarryman's Cottages)

- verandah with square timber posts
- corrugated iron roof
- gabled roof form
- picket fence
- horizontal weatherboards
- vertical window proportion

Victorian ("Dalmeny" Shoalhaven Street)

- corrugated iron roof
- gabled roof form
- verandah with timber posts
- vertical window proportion
- picket fence

Italianate Style (Post Office)

- pitched roof form
- colonnade
- vertical proportion of windows
- richness of detail
- vertical timber balustrade

Gothic Style (Christ Church Anglican Church)

Monuments (lighthouse, obelisk, Memorial Arch)

Kiama's heritage buildings make a significant contribution to its character, cultural value and identity, and protecting heritage buildings and their visual setting or 'curtilage' is critical. Sensitive redevelopment of heritage buildings, also referred to as 'adaptive reuse', is encouraged. New development in the vicinity of heritage items or within a heritage conservation area, needs to respect and complement the heritage streetscape character.

Development in the vicinity of a heritage item, within a heritage conservation zone or a contributory zone, is to protect and enhance the cultural significance of nearby heritage items and streetscape character.

Where development is adjacent to a heritage item, contributory building or within a conservation area, street wall heights of new development may be required to vary.

Alterations and additions respond appropriately to the heritage fabric but do not mimic or overwhelm the original building. Designs are contemporary and identifiable from the existing building. Ways to separate the new work from the existing include providing generous setbacks between new and old, using a glazed section to link the new addition to the existing building and/or using shadow lines and gaps between old and new.

Building and facade design responds to the scale, materials and massing of heritage items through aligning elements such as eaves lines, cornices and parapets, facade articulation, proportion and/or rhythm of existing elements and complementary colours, materials and finishes.

Signs on heritage buildings, including painted lettering, should be carefully located and should be sympathetic to the historic nature of the building. Adjacent signs should be designed and applied sympathetically.

Where new development directly adjoins a listed heritage building, the appropriate building setback and height will be determined on a case-by-case basis having regard to the views, vistas and context of the heritage item.

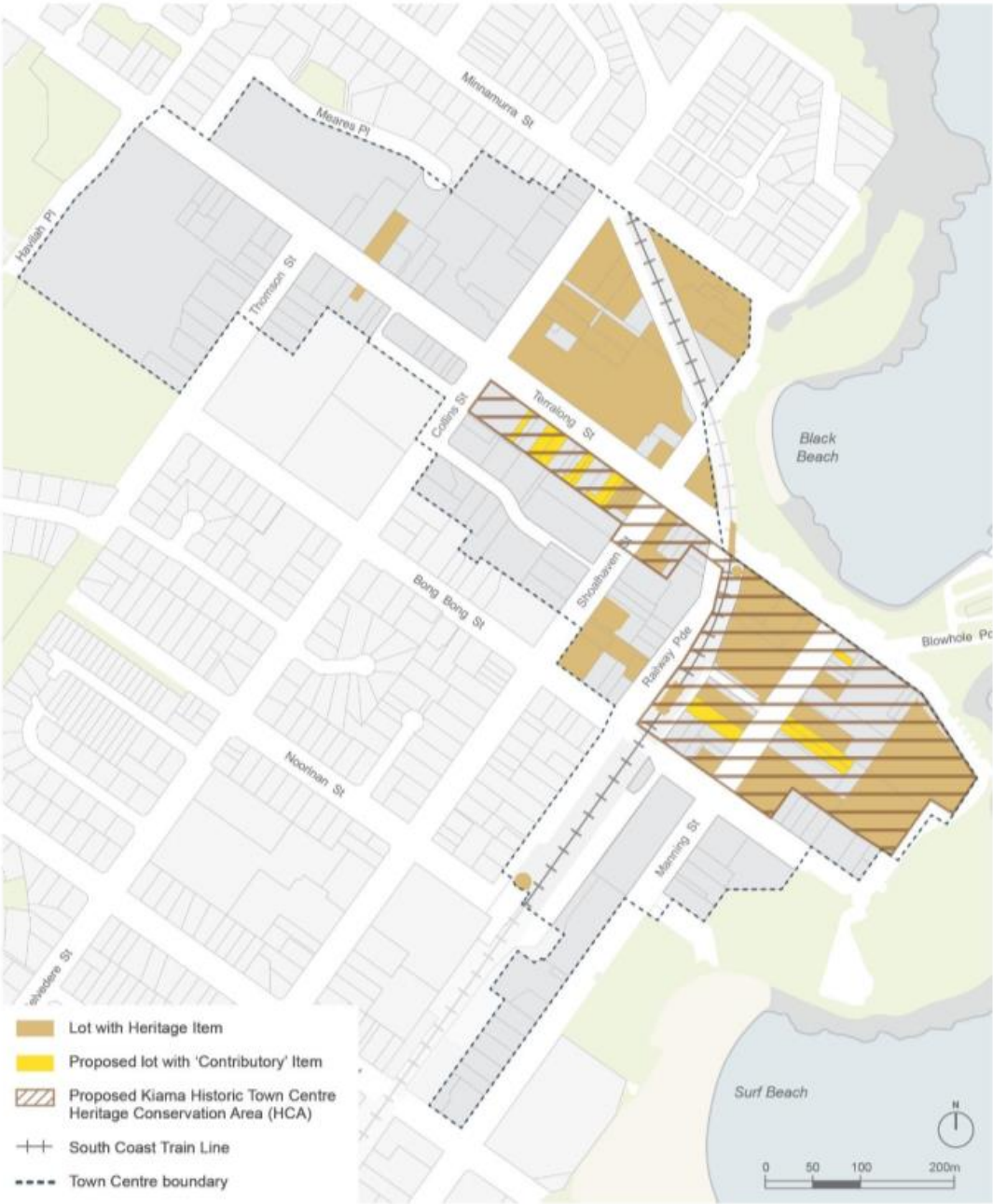


Figure 9 Heritage within the Kiama Town Centre

Built Form in the Town Centre

The focus of the built form of the Kiama Town Centre is its civic, commercial and religious buildings. The centre also contains an array of smaller domestic scale buildings, from the Quarryman's Cottages to the elaborate "Boom style" terrace houses.

This diversity provides a wealth of different styles to inform the future development in the town centre. When designing within a heritage context it is necessary to provide a compatible response to the heritage that has been identified as important, rather than attempting an exact replication of heritage form, materials and colour. Imitation "heritage style" development is to be avoided within the Kiama Town Centre.

Buildings should be designed having regard to the principles outlined in the section - Future Building Design. Where identified, buildings should be aligned with the existing streetscape. Medium density and mixed-use residential/commercial developments are encouraged within the Kiama Town Centre. Prominent and gateway sites should be recognised for the significance they have in defining and reinforcing the character of the centre. Well resolved, high quality design is important across the centre but it is particularly important on corner sites, on terminating views and adjoining Heritage Items and within Heritage Conservation Areas.

Particular attention should be paid to siting any new development to avoid blocking of views, and the location and design of vehicular and pedestrian access. Where appropriate, proper pedestrian links between residential and commercial precincts (eg laneways and thoroughfare connections) should be provided.

Future Building Design

The future form of any physical development within Kiama will strongly influence the quality of the public spaces, the quality of the pedestrian network and the overall identity of the town. Building designs should reinforce the street space of the original grid layout of Kiama and maximise the many advantages of the town's coastal setting.

In general, new buildings should align with the street frontage with specific corner emphasis at gateways and civic areas. A general building height of no more than three (3) storeys currently applies within the Kiama Town Centre (See Figure 18 for selected locations where a 4th storey may be permitted). Council may consider the provision of additional height but only where such a storey will cater exclusively for basement level carparking and will not measure more than one (1) metre above natural ground level at any point and where the additional height does not result in poor quality streetscape and lack of activation (ie commercial uses below the street level).

Kiama has a dual character combining both a historical character, which is a legacy of its fine heritage buildings and landscape, and that of a relaxed coastal village. Overlaid on this overall character are the three Precincts in the Town Centre, the 'Westend', 'Harbourside' and 'Surf Beach' Precincts which each feature unique qualities, character and heritage. New development is to be compatible both with the overall character of the historical seaside village character town centre but also respond to the existing and desired future characteristics of the precinct in which it is located.



Figure 10 Illustrative qualities of desired future built form in the Kiama Town Centre

General Development Controls for the Town Centre

Permeable Urban Structure

The provision of new pedestrian links and laneways in the Kiama Town Centre is encouraged to build upon the existing access network, support walking, cycling and the use of public transport, and link key destinations within and beyond the centre.

Objectives

- O:12.7.28 Build upon and improve the fine grain access network in the Town Centre.
- O:12.7.29 Encourage walking, cycling and public transport through improvements to the pedestrian network.
- O:12.7.30 Reduce vehicle conflict and adverse traffic impacts with opportunities for better service access.

Controls	
12.7.1	The existing access network within the Town Centre is to be retained and new streets, laneways, formal and informal through-site links and pedestrian connections are provided as indicated in Figure 11.
12.7.2	New vehicular laneways/links are to be a minimum of 8m wide and all pedestrian links are to be a minimum of 4.5m wide.
12.7.3	New laneways and links are to be consistent with Crime Prevention through Environmental Design (CPTED) principles (e.g. clear sight lines), activated by retail, civic and/or commercial use at ground level for at least 20% of their length, naturally ventilated, well-lit after hours and preferably publicly accessible 24/7.

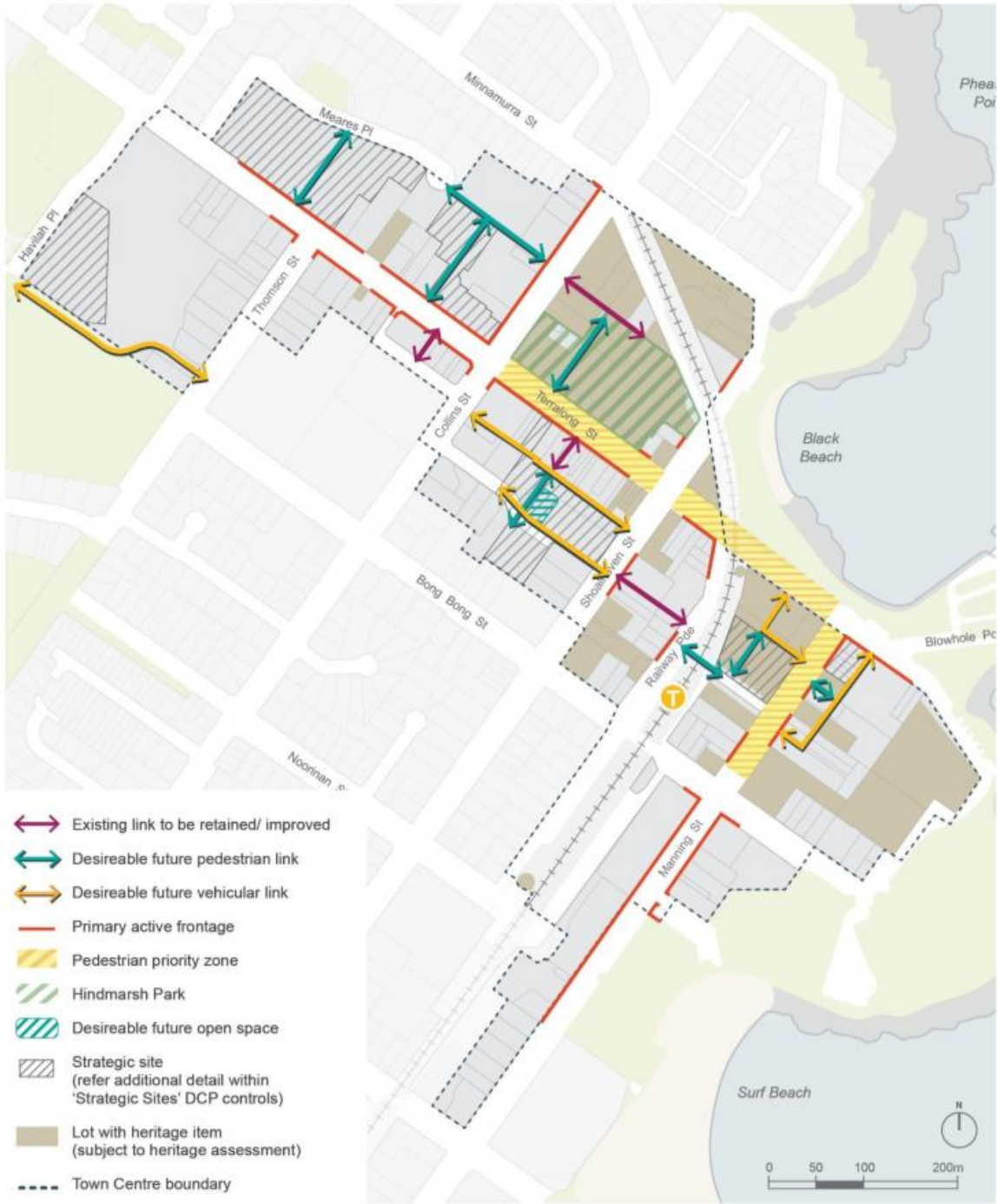


Figure 11 Public domain plan

Site Consolidation

Development proposals may seek the consolidation of two or more properties, for example where a single site is too small to fit a desired development type and/or where access and parking requirements are not able to be accommodated.

The typical benefits of consolidating land into a larger site include increased flexibility and efficiency. However there is also a risk that consolidation creates larger developments that are 'out-of-scale' and detrimental to the desired character of the town centre.

Objectives

- O:12.7.31 Encourage appropriate site consolidation to promote the efficient use of land.
- O:12.7.32 Site consolidation (and resultant future built form) is to respond to the desired future character of the town centre, sensitively integrate with heritage items and maintain future development potential of adjoining sites.
- O:12.7.33 Avoid development that may create isolated sites.
- O:12.7.34 Support more efficient car parking and servicing and reduced number of driveways and driveway crossings.

Controls	
12.7.4	As a general guide for the Kiama Town Centre, sites that are between 800-1,500m ² enable the creation of mixed use development with basement parking, built form interest and variety and quality design outcomes.
12.7.5	As a general principle, it is encouraged that sites under 800m ² are consolidated to create larger development parcels.
12.7.6	Site consolidation that results in sites that are larger than 2,500m ² should not be permitted (except for identified 'Strategic Sites' – see Figure 28).
12.7.7	A maximum of one (1) vehicular access point is permitted per consolidated site. On sites with more than one street frontage, vehicular access is to be provided from the secondary street frontage.

Isolated Sites

To achieve an efficient built form outcome for all land within the Kiama Town Centre, new development should explore opportunities to consolidate sites as outlined in the '[Site Consolidation](#)' controls above to avoid creating isolated sites,

Objectives

O:12.7.35 To avoid creating undevelopable, isolated sites in the town centre.

Controls	
12.7.8	Consolidation of sites should not result in isolation of individual lots that are less than 500m ² in area and/or less than a 12m street frontage. Where a proposal would result in an isolated site, the applicant must provide evidence that a fair financial offer has been made to that land owner for incorporation into the site consolidation.
12.7.9	Where development may create an isolated site, the applicant must demonstrate, with a schematic design, that the isolated site can be redeveloped under the current planning controls. This must demonstrate the likely impacts between the development and the isolated site such as solar access, separation distances and privacy.

Fine Grain Frontage

An important characteristic of the centre is the small and narrow or 'fine grain' lot and built form pattern which provides visual interest and variety along the street. It also encourages increased retail diversity and provides the ability for smaller investors (e.g. individual landowners).

Encouraging the incremental and individual development of smaller narrower sites will encourage the retention of the Town Centre's fine grain character. Narrow or 'fine grain' frontages can be made more viable by allowing more flexible car parking controls.

Objectives

O:12.7.36 To promote a diversity of retail shop sizes within the town centre.
O:12.7.37 To ensure development of existing individual small and/or narrow lots can still occur.

Controls	
12.7.10	Ground floor tenancies along active frontages should be no more than 8m wide to create a vertical rhythm, variety and interest along the street.
12.7.11	On narrow sites with a street frontage of less than 12m and a site area of less than 500m ² , alternative methods to address parking should be considered, including car share, off-site parking provision (de-coupling/ lease agreements) and/or exemption from parking requirements.



Example of fine grain shop fronts

Active Frontages

A key attraction of any town centre is the activity generated along the street. Detailed pedestrian-scale physical and visual environments, viewed at walking speed, and combined with 'active' uses such as shops, cafés and restaurants, are key success factors in creating (and sustaining) pedestrian activity.

Objectives

- O:12.7.38 Contribute to creating a vibrant and attractive streetscape and pleasant pedestrian experience.
- O:12.7.39 Enhance the commercial viability of the area and complement existing retail, commercial, entertainment and community uses.
- O:12.7.40 Promote activated and safe streets.
- O:12.7.41 Provide direct access to the street and present a clearly visible street address.

Controls

12.7.12	Frontages labelled 'primary active frontage' in Figure 11, are to comply with the controls below and the guidance of Figure 12.
12.7.13	Entries are to be level with the footpath. Where not possible/ highly impractical, entries are to be a maximum of 0.3m above the footpath level, and cannot be below.
12.7.14	Ramps (and associated balustrades) parallel to the facade should be strictly prohibited, however, where entries are slightly above footpath level, entries are to be recessed to allow for a step - or preferably a small ramp at 90 degrees to the facade, to improve accessibility.
12.7.15	The design of the ground floor tenancies is to display vertical articulation with identifiably

	separate doors and windows.
12.7.16	Shopfronts are to provide a high standard of finish and add to the variation and interest by balancing solid elements and glazing. The maximum amount of glazing is to be 70%. Operable glazing is preferred to maximise activation.
12.7.17	Permanent opaque coverings on windows and doors at ground level that prevents views into buildings are to be restricted to less than 15% of glazed area.
12.7.18	Development should not include more than 12m of inactive frontage dedicated to commercial uses along the street. Retail business and other active uses should be provided at ground level.
12.7.19	Plain blank walls are not appropriate.
12.7.20	Minimise fire stairs, hydrants, service doors, plant and equipment hatches along active frontages.
12.7.21	Active frontages should not include vehicular access unless demonstrated to be the only suitable location on the site for such access.
12.7.22	A continuous awning is required along all active frontages, with a minimum height of 3.0m and a maximum height of 4.5m. Low profile awnings with slim fascias and/or eaves (not to exceed 300 mm) are encouraged. Vertical canvas drop blinds are permissible along the street edge, but they are not to carry advertising or signage.

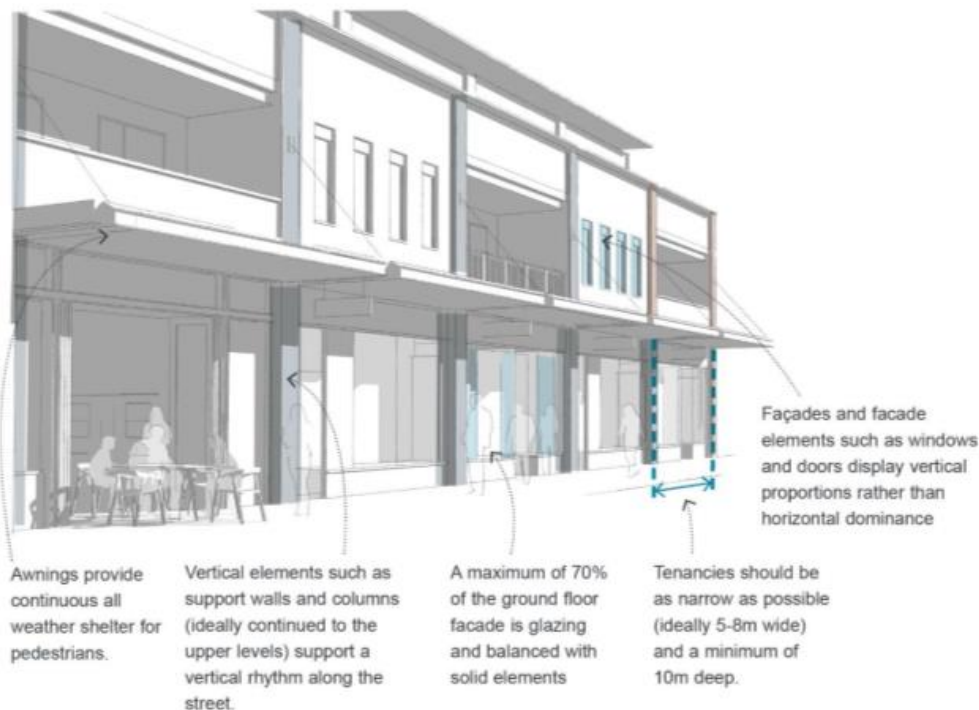


Figure 12 Design guidance for active frontages

Addressing the Street

The way all building levels address the public domain has a direct influence on the character, safety and amenity of the Kiama Town Centre. Every development needs to be designed to 'give back' and contribute to the quality of the streetscape and character of the area.

Objectives

- O:12.7.42 Support the safety and passive surveillance of the public domain.
- O:12.7.43 Contribute to the streetscape character with visual richness, complexity, interest and a vertical rhythm of activity along the street.

Controls

- | | |
|---------|---|
| 12.7.23 | Façades that address the street are to have no more than 5.0 metres of ground floor wall length without a door or window. |
|---------|---|

- | | |
|---------|--|
| 12.7.24 | If security shutters are required, they should be visually permeable (at least 75% permeability) to allow viewing of windows and allow light to spill out onto the footpath. Block-out roller shutters are not permitted. |
| 12.7.25 | Entries are to be clearly visible from the footpath. |
| 12.7.26 | Where residential uses on the ground floor are permitted these can be raised between 0.5-1.2 metres above the footpath to improve internal privacy of residents and direct access from the footpath to individual dwellings. A front setback of 4.5m is also encouraged. |

Street Setbacks

Street setbacks, when combined with the building height and width of the road reserve, define the proportion, scale and level of visual enclosure of the street. Street setbacks not only establish the alignment of buildings along the street, they also provide for landscaping and deep soil areas, building entries and a transition between public and private space.

Objectives

- O:12.7.44 Provide for high quality pedestrian amenity and activity.
- O:12.7.45 Establish the desired spatial proportions of the street.
- O:12.7.46 Assist in creating a transition between public and private space.
- O:12.7.47 Protect curtilage and sightlines to heritage items.

Controls	
12.7.27	New development is to comply with the street setbacks as shown in Figure 15.
12.7.28	Where built-to boundary requirements apply, buildings should have a minimum of 75% of their frontage built with a nil setback. The remaining 25% may set back up to 2.0 metres to provide areas for entrances, bike parking, outdoor seating and the like.
12.7.29	For sites identified as requiring a front setback, balconies, ground floor terraces or entrance structures can protrude up to 0.6m into the front setback.
12.7.30	In locations with a 'variable setback' (see Figure 15), a nil front setback is desirable, however new development may need to be setback in order to be sympathetic to the existing front setback of adjoining properties (see

Figure 14).

- | | |
|---------|--|
| 12.7.31 | Variations to the setback controls may be required at sensitive interfaces adjacent to heritage items. |
|---------|--|



Figure 13 Buildings with ground floor retail should generally be built to the front boundary to create a consistent active street wall.



Figure 14 Locations with 'variable setbacks' should consider the front setback of adjoining properties.

Side and Rear Setbacks

Side and rear setbacks separate a development from neighbouring sites. Side and rear setbacks are less common in a town centre but may be desirable at the interface of a commercial area with surrounding land uses as they can help establish (and/ or protect) landscaped corridors with adjoining properties.

Objectives

- O:12.7.48 Ensure a continuous street wall in the core of the Town Centre.
- O:12.7.49 Provide adequate privacy and access to daylight, ventilation and outlook for neighbouring properties.
- O:12.7.50 Assist in creating a transition between public and private space and between commercial areas and surrounding residential areas.

Controls	
12.7.32	Development in the Town Centre core, along key streets, has nil side setbacks. Variations to the setback controls may be required at sensitive interfaces adjacent to heritage items.
12.7.33	Walls built to the side boundary are to have no windows or openings overlooking adjoining properties.
12.7.34	Separation for residential flat buildings (apartments) and residential components of multi-storey developments are to satisfy the requirements of SEPP 65 and the Apartment Design Guide.
12.7.35	All development outside the B2 Local Centre zone is to have a minimum rear setback of 6.0 metres.

Street Wall Heights

The street wall height is the height of the building from the ground level at the street up to the first upper level building setback. It is the part of the building in a Town Centre that directly addresses the street and plays an important role in shaping the character of the place.

The existing street wall height along Terralong and Manning Streets within the 'Harbourside' Precinct is generally 1-2 storeys high and this historic scale should be retained. The 'Westend' and 'Surf Beach' Precincts feature more recent developments and a three storey street wall height is generally considered appropriate in these locations.

Objectives

- O:12.7.51 Protect solar access and minimise overshadowing on the public domain.
- O:12.7.52 Minimise bulk and scale impact and help mitigate the pedestrian's perception of building height.
- O:12.7.53 Reinforce the pedestrian-friendly character and scale of existing buildings in the Kiama Town Centre.

Controls	
12.7.36	New development is to comply with the street wall heights as shown in Figure 15 and illustrated in Figure 16, Figure 17.
12.7.37	Any development above the street wall height is to have a minimum upper level setback of 3m (depending on the site's orientation, greater setbacks may be required for development to the north of streets and public places to ensure sufficient sun access). Upper level setback distances may also be subject to assessment of heritage impact.
12.7.38	Above street level, a 0.3m façade articulation zone allows minor projections beyond the site boundary to create visual interest (see Figure 16, Figure 17).
12.7.39	The street wall of new buildings should be designed to maintain the dominant parapet line of adjacent buildings.

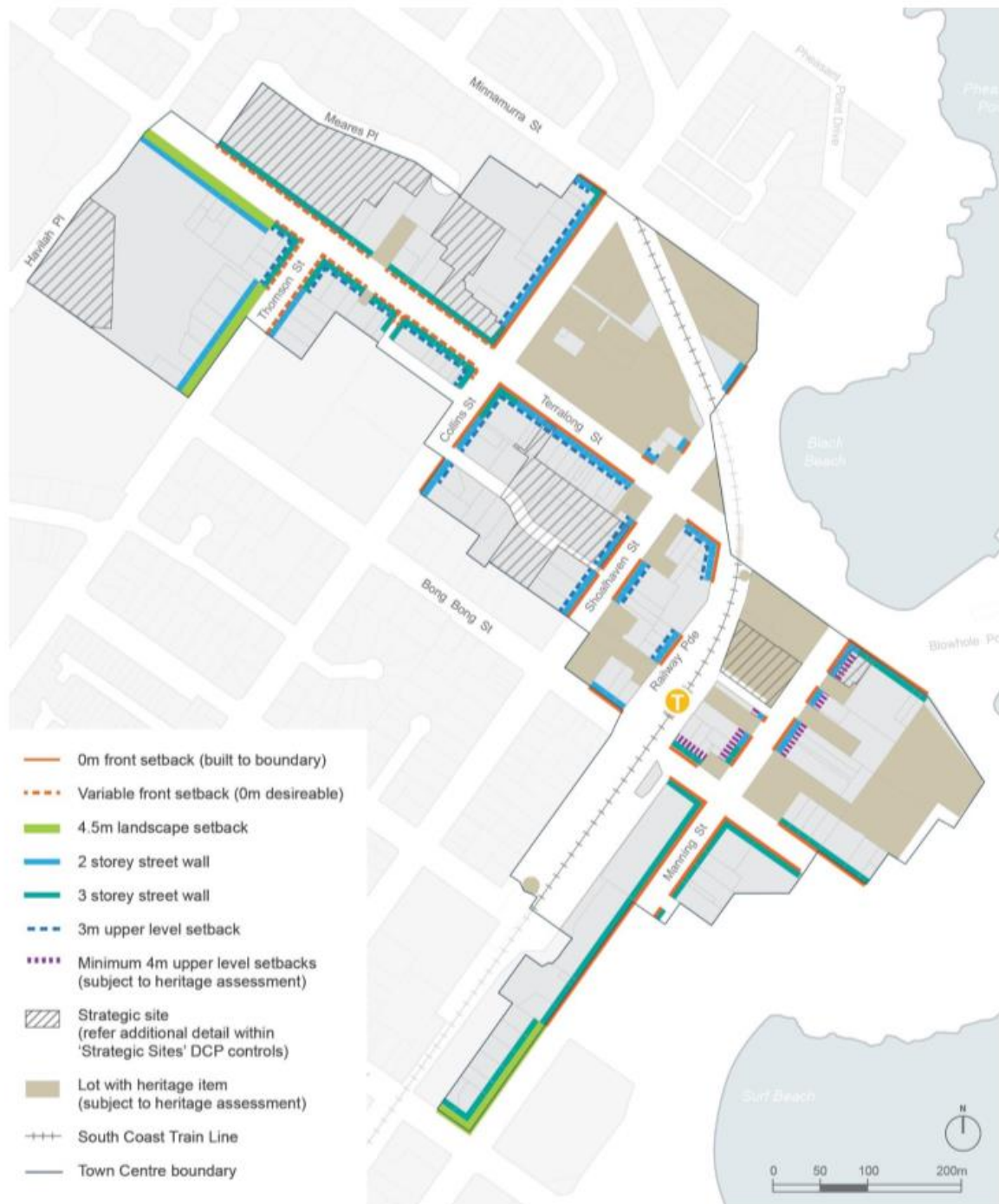


Figure 15 Street wall and setbacks control plan

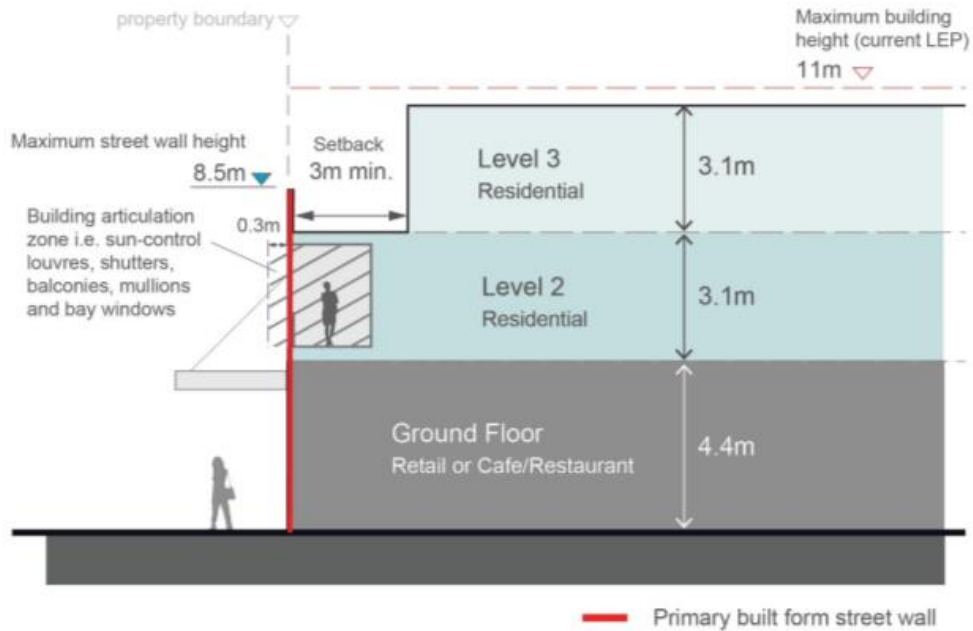


Figure 16 Typical 2 storey street wall section predominant within the historic 'Harbourside' Precinct



Example of 2 storey street wall with upper level setback

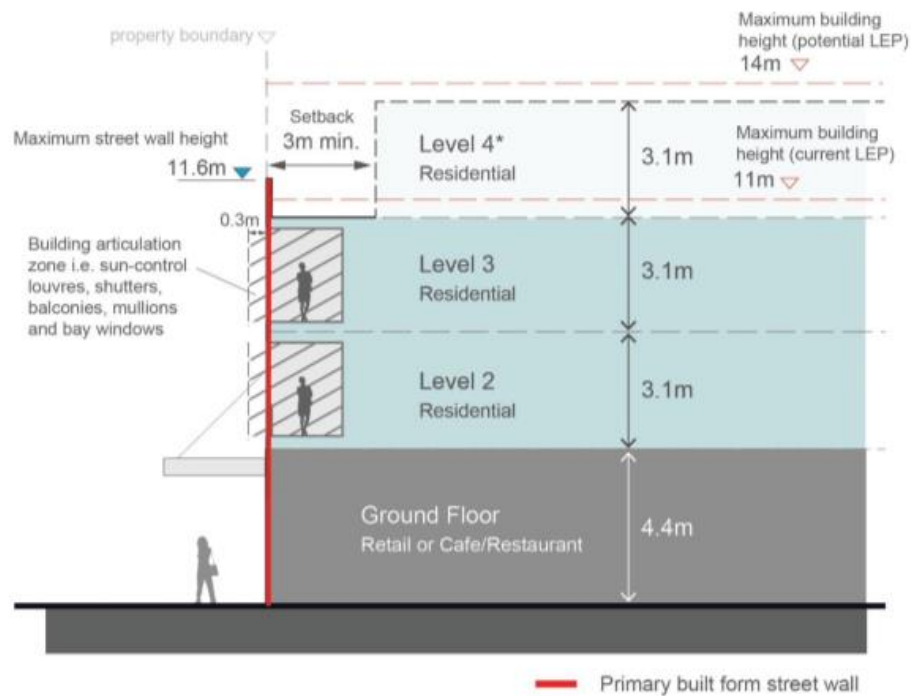


Figure 17 Typical 3 storey street wall section predominant within the 'Westend' and 'Surf Beach' Precincts
* See Figure 18 for selected locations where a 4th storey may be permitted



Examples of 3 storey street wall with potential 4th storey upper level setback

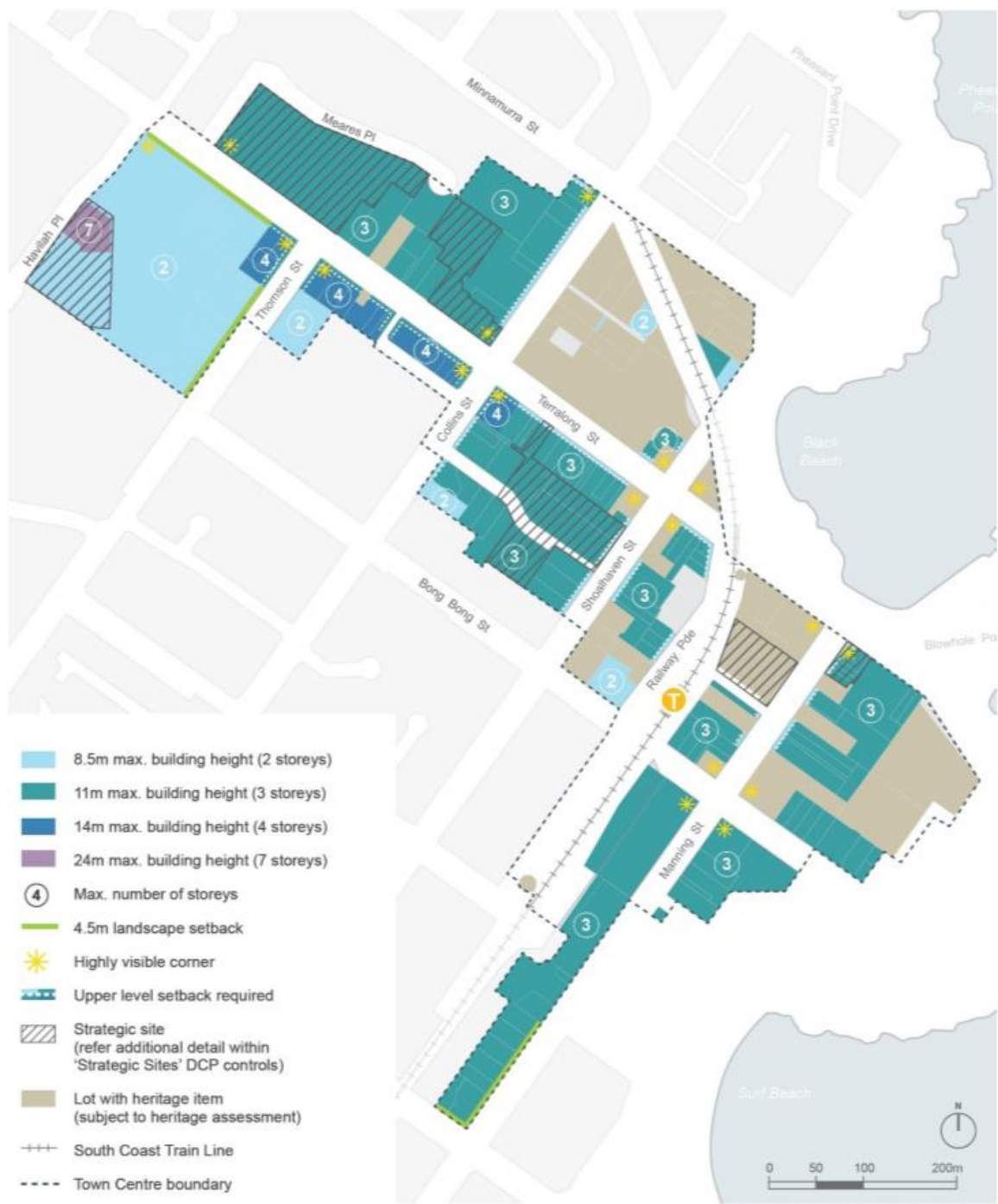


Figure 18 Built form envelopes control plan

Bulk, Scale and Floor heights

Development in the Kiama Town Centre should seek to reinforce the much valued village character and not create additional bulk and scale that is detrimental or overwhelming to the pedestrian experience.

Objectives

- O:12.7.54 Ensure the bulk and scale of new development is consistent and in keeping with the desired future character of the Town Centre.
- O:12.7.55 Reduce perceived bulk of the building when viewed from street, public places and neighbouring properties.
- O:12.7.56 Provide flexibility in the built form to allow for future changes to building uses.

Controls	
12.7.40	New development is to comply with the built form heights as shown in Figure 18.
12.7.41	Building massing should be vertically articulated. Above the street level buildings shall have a maximum unarticulated length of 15 metres.
12.7.42	The upper-most level is to be set back and visually unobtrusive. Ways to achieve this include the use of lightweight construction techniques, dark colours and/or roof elements that create deep shadows.
12.7.43	Balconies above active frontages should be designed to be integrated into the street wall and reinforce the height of the street wall. Balconies located within upper level setbacks are to integrate the parapet into the balustrade design (see Figure 16).

12.7.44	No built form elements including pergolas, colonnades or roof forms are to occur within the upper level setback (see Figure 16).
12.7.45	Buildings located on highly visible corners (see Figure 18) should be of a high quality and 'turn the corner' with elements which emphasise the sites prominent street corner location. Architectural elements and not commercial signage would best serve the purpose. The corner element should not be lower than the lowest adjoining facade, unless there are heritage implications on that specific site.
12.7.46	Roof plant, lift overruns, utilities, vents and other service related elements are to be integrated into the built form design and complementary to the architecture of the building. The view of roof forms from the surrounding area should be considered.
12.7.47	Minimum floor heights are as follows:

Use	Minimum floor to floor height	Minimum floor to ceiling height
Retail	4.4m	4m
Commercial	3.7m	3.3m
Adaptable	3.7m	3.3m
Residential	3.1m	2.7m
Community	3.7m	3.3m

Landscape Quality

Refer also to DCP 'Chapter 3 – Common Requirements, Topic 3.2 Amenity' for additional Landscaping requirements.

The landscape treatment of the Kiama Town Centre is one of the most admired characteristics of the centre. Landscape design enhances the appearance and amenity of the area, provides for passive and active recreation, preserves biodiversity and improves micro-climatic conditions.

Landscape areas may include deep soil zones that are areas of natural ground which have a natural soil profile. They are free of structures (including underground structures) and are suitable for the growth of mature trees.

Objectives

- O:12.7.57 Promote high quality landscaping that is integrated into the design of development.
- O:12.7.58 Improve the local micro-climate, air quality, solar performance and native biodiversity.
- O:12.7.59 Allow adequate provision on site for infiltration of stormwater, deep soil tree planting, landscaping and areas of communal outdoor recreation.

Controls	
12.7.48	<p>Within the Town Centre all sites with a B2 zoning may be able to have a 100% site coverage, subject to heritage considerations and existing trees.</p> <p>For sites on the edges of the Town Centre and those with a R3 zoning, a maximum site coverage of 70-80% is desirable.</p>
12.7.49	<p>Landscaped areas in front of north-east, north and north-west facing façades use deciduous vegetation to provide shade in summer and allow sun penetration during winter.</p>

12.7.50	<p>Planting adjacent to intersections/ roundabouts and driveways, must utilise vegetation that has a mature height of less than 900mm, to maintain safe sightlines.</p>
12.7.51	<p>Landscaping is to give preference to species with low water needs; include native plant species and consider sun and wind conditions.</p>
12.7.52	<p>All development applications for buildings within the Kiama Town Centre should be accompanied by a conceptual landscape plan demonstrating the relationship between the built form and its site and surrounding landscape. Details submitted should include fencing, paving, garden quality and design and suggested plant species.</p>
12.7.53	<p>Any new development within Manning, Terralong, Shoalhaven and Collins Streets will need to contribute to the existing brick footpath paving using Bulli Blue pavers.</p>

Deep soil zones:

Controls	
12.7.54	<p>A deep soil zone must not contain any buildings, structures, services or impervious surfaces.</p>
12.7.55	<p>For sites on the edges of the Town Centre and those with a R3 zoning a minimum of 7% of the site area must be provided as a deep soil zone.</p>
12.7.56	<p>A deep soil zone must have a dimension of 3m x 3m min.</p>
12.7.57	<p>Deep soil zones are to be located next to deep soil areas of adjoining properties (where existing) to create consolidated landscaped/ biodiversity corridors over time.</p>

Views and Vistas

Refer also to DCP 'Chapter 3 – Common Requirements, Topic 3.2 Amenity' for additional Views and Visual Impacts requirements.

One of the key characteristics of the Kiama Town Centre is its significant topography which reveals views of landmarks, heritage items and the surrounding natural assets, including the harbour, ocean, coastline and beaches.

Much of the Town Centre is located on lower lying land and can be viewed from above. It is critical that new development considers roofscape views and protects key views, especially views to the water and local landmarks as these help shape the experience and character and help to make Kiama a unique and memorable place.

Objectives

- O:12.7.60 Maintain and strengthen important views and vistas and ensure development considers the local topography and impact on views.
- O:12.7.61 Protect Kiama's natural character and retain visual connections with its landscape setting.
- O:12.7.62 Avoid or minimise adverse effect on views from other properties.

Controls	
12.7.58	Key views identified in Figure 19 are to be protected and retained.
12.7.59	Encourage view sharing in the siting and design of new development.
12.7.60	The design of roof forms should be well resolved and consider the views from surrounding sites and local high points. Roof forms should not increase the bulk and scale of the building or impact on the surrounding views.

Note: for more information on view sharing, please refer to New South Wales Land and Environment Court Planning Principles *Tenacity Consulting v Warringah Council* 92004) NSWLEC 140.

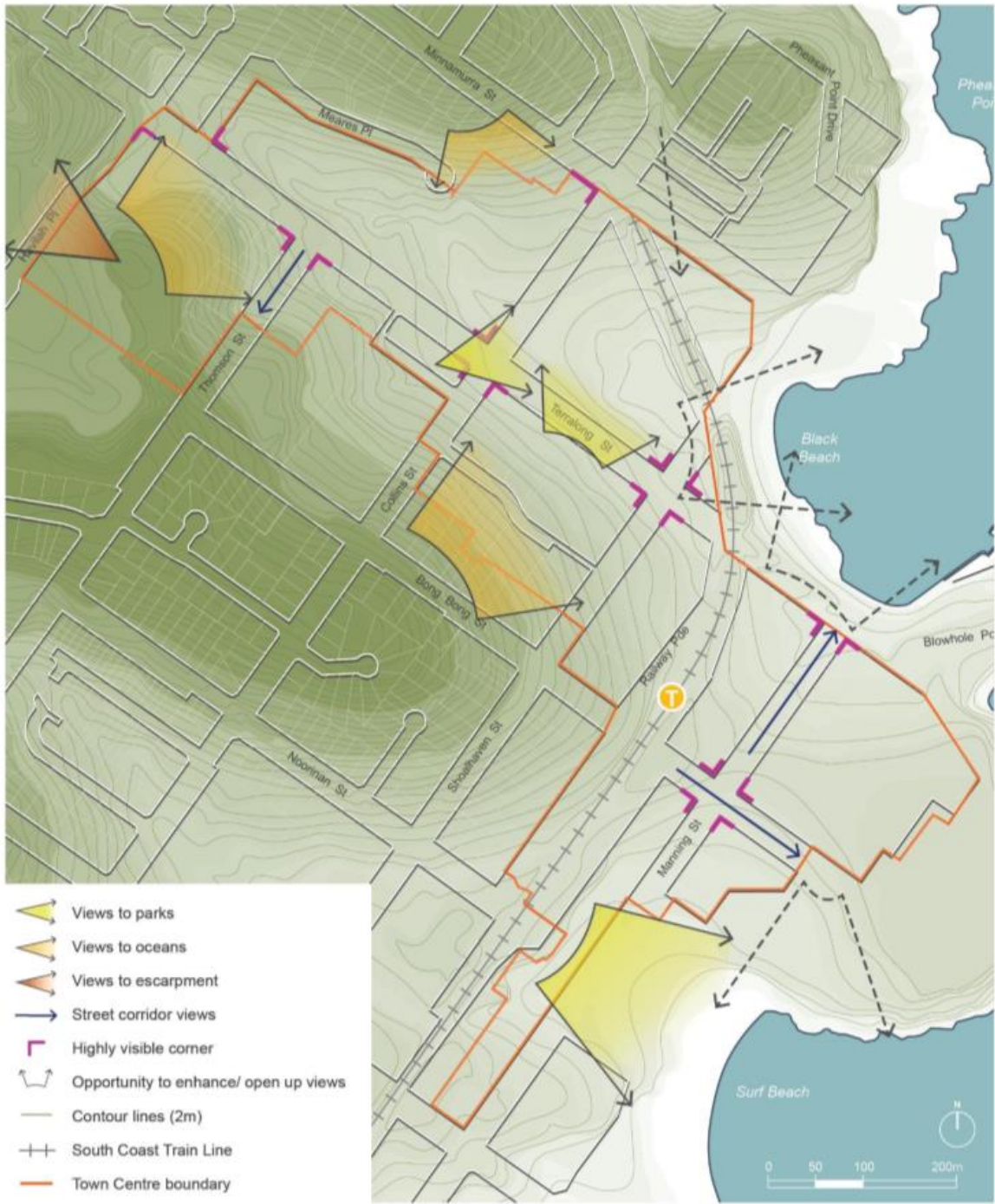


Figure 19 Key view map

Facades and Exteriors

Each building in Kiama makes a unique contribution to the streetscape character of the Town Centre.

The form, scale, proportion, and pattern of building façades, as well as the choice of materials, finishes and colours, need to be carefully selected for their robustness, durability, energy performance and compatibility with the surrounds.

Objectives

- O:12.7.63 Promote a cohesive built form that reflects the desired character of Kiama.
- O:12.7.64 Ensure new development is sympathetic and complementary to the surrounding scale, texture and proportion of built form in the Town Centre.
- O:12.7.65 Encourage a well balanced mix of materials which adds interest and detail and helps to break down the overall scale, bulk and mass of larger buildings.
- O:12.7.66 Encourage finishes and building materials appropriate to the local climatic conditions, solar orientation and site specific features.

Façade Detail

Controls	
12.7.61	Particular attention should be paid to parapets, mouldings and windows. Windows with a reasonable depth of reveal and modulation (ie: minimum 150 to 200 mm) are preferred in order to enhance the solid wall facade appearance of buildings in the Kiama streetscape and maintain an interest and scale at pedestrian level. This is particularly important in streets with historic buildings.
12.7.62	Sidewalls are designed as an architecturally finished surface that complements the main building facade.
12.7.63	Visually prominent elements such as balconies, overhangs, awnings, and roof tops are to be of high quality and low maintenance design.
12.7.64	Balcony design is to consider the need for visual and acoustic privacy of residents and the impact of visual clutter (such as air conditioners/ washing lines) on the streetscape. Excessive use of glass balustrades and/or metal balustrades is discouraged.

Building Materials

Controls	
12.7.65	<p>Building materials should include:</p> <ul style="list-style-type: none"> a) walls of masonry construction, rendered to a flat surface for painting; b) roof slate, corrugated sheet metal or concrete tiles; and c) architectural detail and trim in timber and moulded cement.
12.7.66	<p>External walls are to be constructed of high quality and durable materials and finishes with low maintenance attributes. Materials used are to be suitable for the local climatic conditions and are to be able to withstand natural weathering.</p>
12.7.67	<p>Materials must be harmonious with and complement the coastal character of the area. Materials should be textured such as timber, bagged brickwork and natural stonework like basalt/ bluestone.</p>
12.7.68	<p>A well-considered mix of materials is encouraged. The composition of façades should balance solid and void elements and large expanses of any single material should be avoided.</p>
12.7.69	<p>Highly reflective finishes and curtain wall glazing are prohibited.</p>
12.7.70	<p>The retrofit of existing facades is encouraged especially where this would support the desired future character of the town centre and helps to ameliorate visual and acoustic privacy of residential uses.</p>



Figure 20 Basalt/ bluestone used as a natural material in the built form of recent development



Figure 21 Basalt/ bluestone is a key characteristic of Kiama and has been integrated throughout the public domain

Colours

Controls	
12.7.71	Colours should be selected with an emphasis on light/neutral colours that harmonise with the seaside context.
12.7.72	The selection of colours for new development in the Kiama Town Centre should be appropriate to the overall streetscape context while maintaining the integrity of the original design concept. "Heritage" colour schemes may not be the only choice when selecting a colour scheme for a new development.
12.7.73	Lighter colours can be used as highlights to emphasise particular parts of the building. Deeper colours may be used as trim.
12.7.74	As an alternative to a painted finish the use of natural stone (ie: sandstone or basalt blocks) and other textured surfaces onto brickwork, such as a bagged finish using coloured cement, could be appropriate for buildings in the Town Centre.
12.7.75	Colours should be selected to create contrast between base colour and highlight colour. Very dark colours and large expanses of white are to be avoided.
12.7.76	A colours and material palette with sample board should be submitted with development applications.



Figure 22 Sample colour palette

Acoustic Privacy

Acoustic privacy is a measure of sound insulation between residential apartments and between external and internal spaces.

New development needs to provide a high level of amenity for future residents and building users. At the same time, development is required to protect and where possible enhance the quality of the public domain and minimise the impact on the existing amenity of adjoining development, i.e. visual / acoustic privacy and sun access.

Objectives

O:12.7.67 To ensure a high level of amenity for occupants within residential apartments and / or serviced apartments in the development.

O:12.7.68 To minimise the impact of noise from new development.

Statement of Environmental Effects (SEE)

The SEE accompanying the development must demonstrate that the abovementioned noise criteria for windows to sleeping areas and living areas and Field Sound Transmission Class (FSTC) criteria for walls and floors have been met for each residential apartment or serviced apartment in the development through the provision of appropriate acoustic treatment measures. The proposed acoustic measures must also be shown on the required architectural floor layout and elevation plans for the development. Alternatively, the Statement of Environmental Effects (SEE) may include an acoustical impact assessment study which outlines alternative acoustic treatment measures for any residential apartments and / or serviced apartments in the development. The acoustic impact assessment study must be carried out by a suitably qualified and experienced acoustic consultant (ie a person who is a Member of the Australian Acoustical Society, the Institution of Engineers or the Association of Australian Acoustical Consultants).

Controls

12.7.77	Residential apartments should be arranged in a mixed use building, to minimise noise transition between apartments by: <ul style="list-style-type: none"> (a) Locating busy, noisy areas next to each other and quieter areas, next to other quieter areas (eg living rooms with living rooms and bedrooms with bedrooms); (b) Using storage or circulation zones within an apartment to buffer noise from adjacent apartments, mechanical services or corridors and lobby areas; and (c) Minimising the amount of party (shared) walls with other apartments.
12.7.78	All residential apartments within a mixed use development should be designed and constructed with double-glazed windows and / or laminated windows, solid walls, sealing of air gaps around doors and windows as well as insulating building elements for doors, walls, roofs and ceilings etc; to provide satisfactory acoustic privacy and amenity levels for occupants within the residential and / or serviced apartment(s).
12.7.79	Noise transmission from common corridors or outside the building is to be minimised by providing seals at entry doors.
12.7.80	In order to assist acoustic control of impact noise between units: <ul style="list-style-type: none"> (a) A common wall shall have a Field Sound Transmission Class

	<p>(FSTC) of not less than 50 if it separates;</p> <ul style="list-style-type: none"> i. Sole occupancy units, ii. A sole occupancy unit from a plant room, stairway, public corridor, hallway or the like. <p>(b) A wall separating a bathroom, sanitary compartment, laundry or kitchen in one sole occupancy unit from a habitable room (other than a kitchen) in an adjoining unit, shall have an FSTC of not less than 55.</p> <p>(c) A floor separating sole occupancy units must not have an FSTC less than 50.</p> <p>With regard to mixed use residential/commercial development the design of the residential component is to ensure that optimum solar access is available to internal living areas and external private open space areas.</p>	<p>kitchen in one sole occupancy unit from a habitable room (other than a kitchen) in an adjoining unit, shall have an FSTC of not less than 55.</p> <p>(c) Walls between sole occupancy units shall comply with the impact sound resistance standards specified in the BCA.</p>
12.7.81	<p>In order to assist acoustic control of impact noise between units:</p> <ul style="list-style-type: none"> (a) A floor shall have an Impact Isolation Class (IIC) of not less than 50 if it separates; <ul style="list-style-type: none"> i. Habitable rooms of sole occupancy units ii. A sole occupancy unit from a plant room, stairway, public corridor, hallway or the like. (b) A floor separating a bathroom, sanitary compartment, laundry or 	<p>12.7.82 All residential buildings and serviced apartments are to be constructed so that the repeatable maximum L Aeq (1 hour) level not does exceed the following levels:</p> <ul style="list-style-type: none"> (a) In a naturally ventilated - windows closed condition: <ul style="list-style-type: none"> i. Sleeping areas (night time only: Hours - 2200-0700) - 35dB ii. Living areas (24 hours) - 45dB (b) In a naturally ventilated - windows open condition, (ie, windows open up to 5% of the floor area, or attenuated natural ventilation open to 5% of the floor area): <ul style="list-style-type: none"> i. Sleeping areas (night time only: Hours - 2200-0700) - 45dB ii. Living areas (24 hours) - 55dB (c) Where a naturally ventilated - windows open condition cannot be achieved, it is necessary to incorporate mechanical ventilation or air conditioning. (d) The following repeatable maximum L Aeq (1 hour) levels shall not be exceeded when doors and

	<p>windows are shut and mechanical ventilation or air conditioning is operating:</p> <ul style="list-style-type: none">i. Sleeping areas (night time only: Hours - 2200-0700) - 38dBii. Living areas (24 hours) - 46dB <p>Note: These levels correspond to the combined measured level of external sources and the ventilation system operating normally</p>
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Amenity

Refer also to DCP 'Chapter 3 – Common Requirements, Topic 3.2 Amenity' for additional requirements.

New development needs to provide a high level of amenity for future residents and building users. At the same time, development is required to protect and where possible enhance the quality of the public domain and minimise the impact on the existing amenity of adjoining development, i.e. visual/ acoustic privacy and sun access.

Objectives

- O:12.7.69 Minimise the impact of new development on the outlook, privacy and sun access of adjoining properties.
- O:12.7.70 Minimise overshadowing of streets, links and public open spaces.
- O:12.7.71 Protect building users from negative noise, air quality and vibration impacts.

Controls	
12.7.83	Sunlight access is to be provided to 50% (minimum) and up to 70% (preferred) of the area of all significant public spaces (e.g. Hindmarsh Park and designated pedestrian priority zones such as the intersection of Terralong and Manning Streets) for at least 3 hours mid-winter (21 June) between 9am and 3pm.
12.7.84	At least 50% of the principal area of private open space of existing adjoining residential properties are to receive sunlight for a minimum of 2 hours between 9am and 3pm mid-winter (21 June) - or where the adjoining private open space does not currently receive 2 hours of sunlight, the development does not reduce sunlight to that space by more than 30%.
12.7.85	With regard to mixed use residential/commercial development the design of the residential component is to ensure that optimum solar access is available to internal living areas and external private open space areas.
12.7.86	Noise transmission between dwellings can be minimised by not locating living areas or garage or service areas adjacent to the bedrooms of other dwellings.

Parking and Access

Refer also to DCP 'Chapter 3 – Common Requirements, Topic 3.6 – Transport, Access and Parking' for additional parking and access requirements.

The design of vehicular access and carparking has a significant impact on pedestrian safety and the quality of the public domain. Vehicle access points need to be integrated carefully to avoid potential conflicts with pedestrian movement and the desired streetscape character.

Objectives

- O:12.7.72 Provide appropriate level of on-site parking to cater for new development.
- O:12.7.73 Minimise the visual impact of car parking areas and vehicle access points.
- O:12.7.74 Minimise conflicts between pedestrians and vehicles on footpaths, particularly along pedestrian priority routes/ active frontages.
- O:12.7.75 Promote alternative modes of transport (walking, cycling, public transport).

Controls	
12.7.87	All parking is to be provided within the building footprint either within a basement or well integrated into the design of the building. Where parking cannot be provided within the building footprint it is to be located away from the primary active frontage, to the side or rear of the building(s) and is not to be visible from the street.
12.7.88	Access to car parking is provided from side streets or the rear of the property wherever possible.
12.7.89	New vehicle access points should not be permitted along streets with a primary active frontage. Where access from a secondary street or lane is not possible, acceptable alternatives include off-site parking provision and/or a reduction of car parking requirements.
12.7.90	Shop top housing development within a 200m radius of the Kiama Town Centre is to receive a 25% car parking space discount. OR Parking requirements may be reduced for development within the Town Centre subject to submission of a Transport Management Plan and approval by Council.
12.7.91	Double height access points (e.g. into a basement carpark or loading area) are not permissible along a primary active frontage.
12.7.92	Vehicle access points are limited to a single crossing point and are to be perpendicular to the kerb alignment.

12.7.93	Stacked parking/ car lifts will be considered on merit and only in multi-dwelling housing and residential flat buildings.
12.7.94	Safe, convenient and secure bicycle parking is to be provided for larger developments. Where provided within the building, bicycle parking/ storage is to be easily accessible from ground level/ lift lobby.
12.7.95	Ingress and egress points to parking facilities should be legible, including well-lit signage, and the surrounding area appropriately landscaped.
12.7.96	Pedestrian access should be physically separated from vehicular access. Similarly, short term and long term parking areas should be physically separated.
12.7.97	Permanent open lot carparks shall be located behind buildings, especially along a primary active frontage.

Pedestrian Access and Mobility

New development has a responsibility to ensuring Kiama is a safe, convenient and accessible place for all people to experience and enjoy. The topography of Kiama can be particularly challenging for people with mobility challenges and therefore development must give additional consideration to the provisions of access for these individuals.

Objectives

- O:12.7.76 Provide safe and equitable public and private spaces and facilities.
- O:12.7.77 Ensure buildings and public spaces are accessible for people with mobility challenges.
- O:12.7.78 To minimise barriers to access in the built environment.

Controls

12.7.98	Ensure all facilities designed for disabled persons comply with the relevant <i>Australian Standards</i> and the <i>Disability Discrimination Act 1992</i> .
12.7.99	All development must provide continuous access paths of travel from all public roads and spaces as well as unimpeded internal access.
12.7.100	Main pedestrian entries from the street should be legible, accessible and barrier free. These entries should be enhanced with appropriate signage and weather protection to improve clarity and amenity.

Sustainable Design / ESD

Development in the Kiama Town Centre is encouraged to apply environmentally sustainable design measures in the areas of energy and water efficiency, passive solar design, natural ventilation, stormwater reduction and management, solar access, orientation and layout of development, building materials and waste minimisation.

Objectives

- O:12.7.79 Promote best practice in Environmentally Sustainable Development.
- O:12.7.80 Minimise potable water use and promote reuse and recycling of water and waste.
- O:12.7.81 Achieve energy and water efficient development by:
- Reducing the necessity for mechanical heating and cooling.
 - Reducing reliance on fossil fuels.
 - Minimising greenhouse gas emissions.
 - Supporting and promoting renewable energy initiatives, sustainable construction materials and passive building design.

Controls

12.7.101	Buildings are to comply with or where possible exceed the Building Sustainability Index (BASIX) by 10% for residential development.
12.7.102	Consider the inclusion of green roof and green facade/ green wall elements to reduce heat loads and moderate the heat island effect.

Water efficiency:

Controls

12.7.103	Landscape and building design maximises soft landscaping and limits the extent of impervious paved areas.
12.7.104	Drought tolerant, low water use plants are used within landscaped areas.

12.7.105	Runoff is collected from roofs and balconies in water tanks and used for on site irrigation.
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Passive solar design:

Controls

12.7.106	Buildings are located so that they benefit from passive solar heat gain during winter months.
12.7.107	Insulation is to be used in external walls and roofs to reduce heat escaping from a building in winter and to maintain a lower internal temperature in summer.
12.7.108	All windows and door openings are to be sealed.
12.7.109	Overhangs and shading devices such as awnings, blinds and screens should be considered to protect from sunlight during summer months.

Energy conservation/ efficiency:

Controls

12.7.110	Materials are to be selected considering their thermal performance.
12.7.111	Solar hot water systems are encouraged.

Natural ventilation:

Controls

12.7.112	Natural cross ventilation is to be optimised.
12.7.113	At least 30% of all windows in a building are operable from the inside (by building users).

Lighting

Lighting in town centres enhances safety and discourages anti-social behaviour. Good light levels from a variety of sources, such as under awnings or shopfronts, increase the amenity of the footpath and enhances the overall sense of safety after hours. The creative lighting of town landmarks can also assist in promoting a strong civic image.

Objectives

- O:12.7.82 Create an environment where people feel safe and secure into the night.
- O:12.7.83 Minimize potential light pollution to surrounding properties and motorists.

Controls	
12.7.114	External light fixtures are integrated with the building design and are not readily visible as separate elements from the public domain.
12.7.115	All outdoor lighting, including security and car park lighting shall be designed and sited to minimise light pollution. Outdoor lighting is to use full cut-off light fittings.
12.7.116	External lighting is to be energy efficient, high quality durable and low maintenance.
12.7.117	Full façade flood-lighting should be restricted to the main activity routes and gateway buildings and after consideration of neighbouring amenity.
12.7.118	Illuminated features are encouraged at gateway, local nodal and key corner locations. The lighting of buildings and key local landmarks at the pedestrian level is encouraged.
12.7.119	The sensitively designed lighting of heritage buildings

is encouraged. The colours and design of lighting should complement the design and detail of the building, in soft, natural colours.



Figure 23 A combination of sensitive feature lighting on a heritage building



Figure 24 Bunker lights are a simple, cost effective and vandal resistant option for under awning lighting

Advertising and Signage

Signage needs to be sensitively incorporated into the context, as the cumulative visual impact of many signs of varying sizes, shapes and colours is damaging to how the centre is perceived and detrimental to its character.

Well-designed signs add visual interest to an area and also contribute to a lively atmosphere. Signs are also necessary to identify buildings and to communicate messages and should be integrated with the streetscape.

Objectives

O:12.7.84 Ensure signage does not increase visual clutter or dominate buildings and the streetscape.

O:12.7.85 Create a consistency of signage that is in keeping with the character of the Kiama Town Centre.

Controls	
12.7.120	All signage should have regard to the 'appropriate' options (Figure 26) and avoid 'inappropriate' signs (see Figure 25)
12.7.121	<p>All advertising signs within the Kiama Town Centre should:-</p> <ul style="list-style-type: none"> a) protect significant characteristics of buildings, streetscapes and vistas and protect views of the harbour; b) preferably be located on building surfaces with little or no projection from the building; c) should not obscure architectural features such as windows, parapets, string course decoration, balconies, or the articulation of different storeys; and d) complement the scale and character of the street.

12.7.122	Signs attached to buildings should be designed as an integral part of the building.
12.7.123	Where a sign extends beyond the building facade, the shape and size of the sign and its supporting structure should respect the bulk and style of the building, and any adjoining buildings.
12.7.124	Visual clutter is discouraged. In assessing any new proposal Council will take into account the existing signs on the building or site. Some or all existing signs may be required to be removed as a condition of consent. Adequate space for identification of future occupancies should be reserved.
12.7.125	<p>All signs to be located on a particular building should relate to existing signs on the building in one or more of the following ways:-</p> <ul style="list-style-type: none"> a) common shape; b) common colours; c) consistent scale and proportional relationship; and d) regular placement.
12.7.126	The use of numerous uncoordinated signs on a single building will not be supported.
12.7.127	Signs on heritage buildings, including painted lettering, should be carefully located and should be sympathetic to the historic nature of the building. Adjacent signs should be designed and applied sympathetically.
12.7.128	Illumination of signs should be concealed or integral with the sign through the use of

neon, an internally illuminated panel or sensitively designed external spot lighting. Illumination should not be hazardous or a nuisance to pedestrians, distract motorists or any residents in the area.

12.7.129 All signage must comply with State Environmental Planning Policy No. 64 – Advertising and Signage (SEPP 64).



Figure 25 Prohibited/ undesirable signage and advertising design detrimental to the desired future character



Figure 26 Appropriate and limited advertising/ signage options for local businesses

Public Art

When new buildings and civic landscaped spaces incorporate art works in their design such as sculptures, mosaics, murals, water features, and lighting displays this contributes to the future character of the town centre. Art is increasingly finding a significant place and function in civic and private development. Encouragement of public art could be used to great advantage within the Kiama Town Centre.

Objectives

- O:12.7.86 Contribute engaging, playful & accessible additions to public space that attracts locals and visitors.
- O:12.7.87 Increase public art in communal and public spaces.
- O:12.7.88 Create opportunities to interpret and express aspects of Kiama's history, heritage, stories, people, landscape and streetscape with a focus on indigenous representation and engagement.

Controls	
12.7.130	Commercial development with a capital investment value over \$5 million and that provides frontage to the public domain shall incorporate public art in accordance with Council's Public Art Policy.
12.7.131	The public art is to reflect the unique characteristics of Kiama's local communities and environments.
12.7.132	The design of public art is to be hardwearing, resistant to vandalism and constructed to ensure minimal maintenance.
12.7.133	The use of public art on blank side walls throughout the centre is encouraged. Any art is to be sympathetic with adjoining buildings.



Figure 27 Examples of public art including sculptures, murals and custom metalwork panelling

Development Controls for Strategic Sites

Site specific controls have been prepared for a range of Strategic Sites within the Town Centre and are shown in Figure 28. All Strategic Sites controls should be read in conjunction with the other Town Centre DCP chapters.

These sites have been selected on the basis of:

- the visual importance of the site as a gateway or landmark site; and
- the level of development activity or catalyst potential.

Under the current zoning a wide range of permissible uses are applicable, but it has not been possible to consider all these options. The controls are based on what, at the time, was considered the likely future direction of the site. When development is proposed, these sites may need to go through an additional master planning process to ensure holistic consideration of urban design issues.



Figure 28 Strategic Sites Overview

Kiama DCP 2012 – Chapter 12. Location Specific Controls

|12.160

Site A: Akuna Street

The Akuna Street site is a key centrally located site adjacent to Terralong Street, close to Kiama Railway Station. Development provides the opportunity for a logical extension to the Town Centre that would enhance the public realm and extend pedestrian accessibility.

Redevelopment of the site may also enable a small centrally-located supermarket and efficient and accessible carparking that would strengthen this part of the centre. A central urban square would provide a focus for the community and surrounding retail, commercial and residential uses.

Objectives

- O:12.7.89 Create mixed-use development along Akuna Street that provides an attractive place to live and visit.
- O:12.7.90 Provide a high-quality urban square for the community and visitors.
- O:12.7.91 Create active frontages that encourage activity and safety.
- O:12.7.92 Improve pedestrian connectivity from Akuna Street to Terralong Street via existing and proposed links.
- O:12.7.93 Provide opportunities for commercial floor space for local businesses within the Town Centre.
- O:12.7.94 Explore opportunities to retain existing trees within the site and increase the number of street trees along Akuna Street.
- O:12.7.95 Facilitate the provision of a new laneway that provides access to car parking without disrupting pedestrian circulation or active frontages.
- O:12.7.96 Minimise the impact of parking and encourage shared parking uses for surrounding businesses.
- O:12.7.97 Extend the fine-grain character and pedestrian-friendly scale along Terralong Street up to Akuna Street.
- O:12.7.98 Consider the amount of sunlight that reaches streets, public places and neighbouring properties.
- O:12.7.99 Provide high quality well-resolved roof forms when viewed from the street and from higher areas around the

centre.

O:12.7.100 Provide a mix of dwellings to cater to the needs of a range of users.

O:12.7.101 Consider view sharing and reduce the impact of new development on existing views from neighbouring sites.

Controls	
12.7.134	New development should comply with site specific controls as shown in Figure 29.
12.7.135	The new urban square should provide passive and active areas and create flexibility for community gatherings. It should preferably be publicly accessible 24 hours a day.
12.7.136	Ensure new development minimizes the overshadowing of the new urban square.
12.7.137	Where possible retain trees along Akuna Street as identified in Figure 29.
12.7.138	Explore opportunities to retain the existing 'heritage wall' adjacent to the new laneway.
12.7.139	Include vertical circulation in the form of escalators and lifts to facilitate equitable access from Akuna Street to Terralong Street and to basement parking.
12.7.140	Provide safe pedestrian access along Akuna Street towards the Railway Station.
12.7.141	Explore the re-alignment of Akuna Street to retain the existing trees and create effective development sites.
12.7.142	Explore opportunities for roof terraces with communal open spaces for residential development where proposed.
12.7.143	Avoid architectural roof

	features that add visual interest but exceed the maximum building height.
12.7.144	Development should consider the impact on water views both from the development and from the surrounding area.
12.7.145	Ensure spaces along Akuna Street are designed to allow flexibility and accommodate both retail and commercial uses.
12.7.146	Where residential dwellings are proposed a mix of dwelling sizes and types is to be provided.



Example pedestrian priority space at Double Bay shopping centre

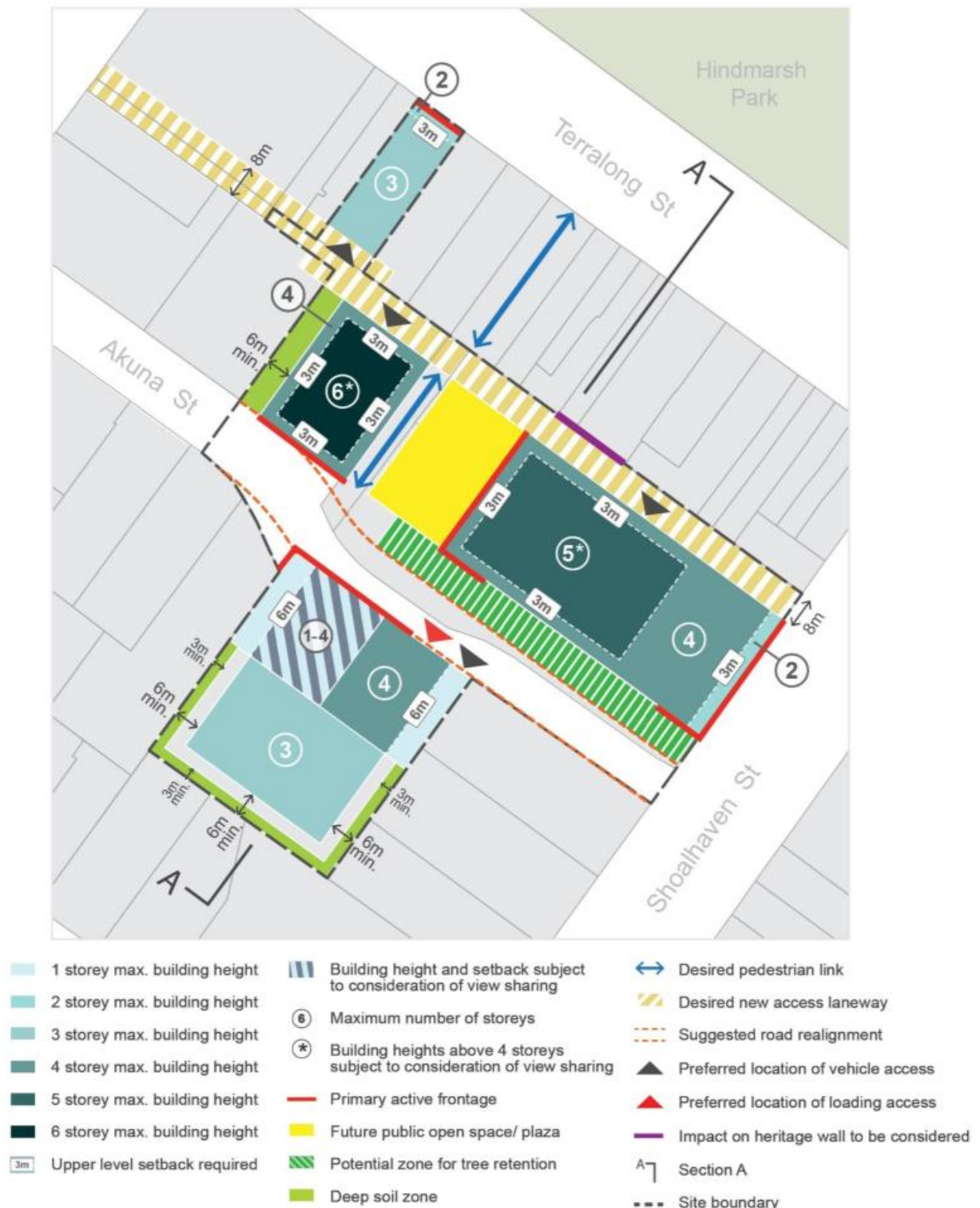


Figure 29 Site specific development control plan – Akuna St

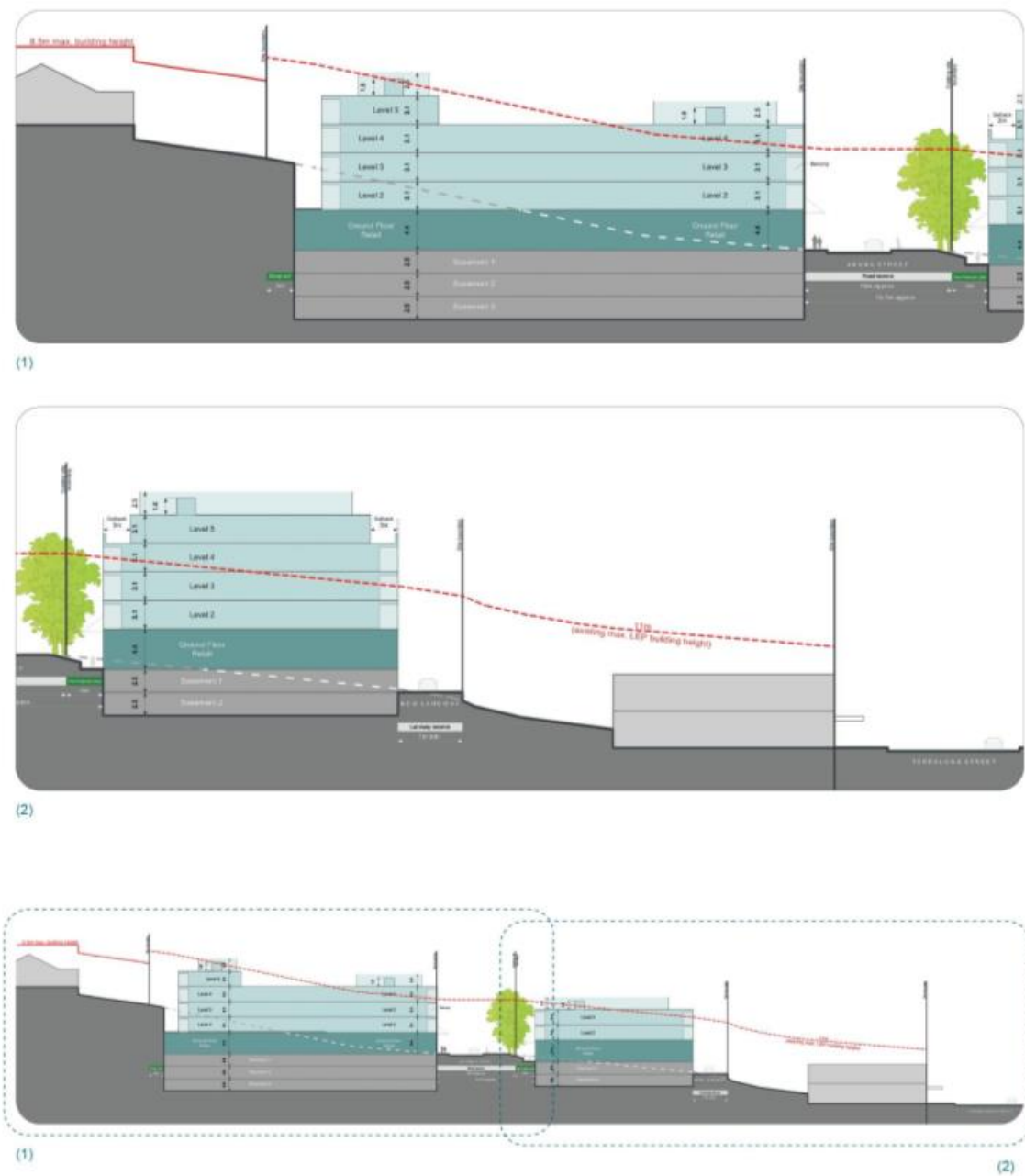


Figure 30 Akuna Street Built Envelope Section A

Site B: Civic Precinct

The Civic Precinct is well located, in a historic part of the town centre. It is within a conservation area, and contains several items of significant heritage value and is also close to the waterfront and key destinations. There is an opportunity for development that respects and complements the heritage elements, by encouraging re-use of heritage buildings, supporting sympathetic redevelopment of the Council site as well as the creation of new links and connections to the surrounding area.

Objectives

- O:12.7.102 Protect and enhance the history and heritage of the area.
- O:12.7.103 Encourage reuse of heritage items, where appropriate, and sensitive new contemporary buildings and public links and spaces.
- O:12.7.104 Strengthen Manning Street as an attractive and vibrant pedestrian environment for locals and visitors.
- O:12.7.105 Improve connectivity and pedestrian access and encourage activation of properties facing Terralong Street with new vehicle laneways and pedestrian links.
- O:12.7.106 Maintain a contextual relationship between the existing contributory buildings and new buildings / additions.
- O:12.7.107 Maintain active frontages with good quality façade treatments at street level along key streets.
- O:12.7.108 Explore opportunities to retain existing trees and increase the number of street trees along Manning Street.
- O:12.7.109 Orient public and communal open spaces for sun access.

Controls

- | | |
|----------|--|
| 12.7.147 | Wherever possible new development should comply with site specific controls as shown in Figure 32. |
|----------|--|

- | | |
|----------|--|
| 12.7.148 | Retain and celebrate heritage buildings and, where appropriate, allow cohesive addition(s) and complementary adjacent buildings. |
| 12.7.149 | All development is to provide a heritage interpretation and public art strategy that reflects the heritage significance of this part of the centre. |
| 12.7.150 | Provide new laneways and pedestrian links on the Council site to improve pedestrian access and encourage activation of properties facing Terralong Street as shown in Figure 32. They must be between 6 - 8.5 metres wide. |
| 12.7.151 | Maximum building heights, built form massing and the selection of colours and materials are to be developed in consultation with a heritage architect and are to consider the impact of the development from both Manning Street and Terralong Street. |
| 12.7.152 | Taller development is to be located to minimise impact on heritage values, and to minimise view loss and overshadowing to the public domain. |
| 12.7.153 | Locate taller built form well behind the historic Council Chambers and outside the line of sight of the south eastern side of Manning Street. See Figure 31. |
| 12.7.154 | Ensure that all additions to existing heritage buildings are designed and located to achieve a cohesive relationship between the existing buildings and the heritage significance of the building and/or heritage conservation area. |
| 12.7.155 | Materials, finishes, textures |

	and colours must be appropriate to the historic context. Contemporary materials are permitted where their proportions, detailing, quantities and location on the building are in keeping with the character elements. Refer to section <i>Facades and Exteriors</i> .
12.7.156	Where possible retain trees along Morton Street as identified in Figure 32.

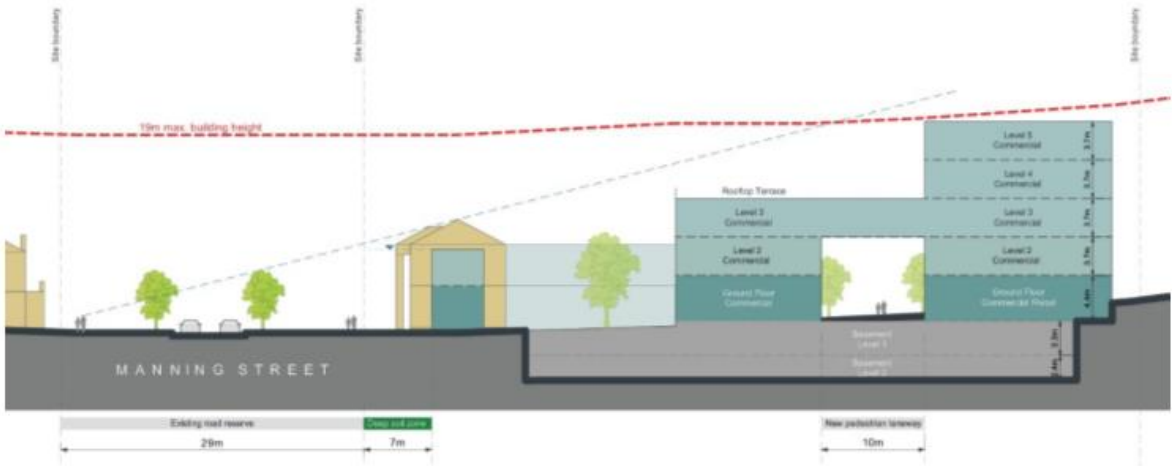


Figure 31 Built Envelope Section A – Civic Precinct



Figure 32 Site specific development control plan – Civic Precinct

Site C: Kiama Leagues Club

The Leagues Club is in a central location within the Kiama Town Centre. As part of the preparation of this DCP an option was explored which located a new Leagues Club at the rear of the site with a new mixed-use developed at the intersection of Terralong Street and Collins Street, that created increased activity at this key intersection overlooking Hindmarsh Park.

Objectives

- O:12.7.110 Create and encourage active frontages with good quality façade treatments at street level along Terralong Street and Collins Street.
- O:12.7.111 Explore opportunities to create additional and/or shared car parking facilities that could also support the wider Town Centre.
- O:12.7.112 Ensure appropriate landscape setbacks at the rear of the site where it adjoins mixed use developments.
- O:12.7.113 Encourage open spaces with maximum sun access and water views, where possible.

Controls	
12.7.157	Development should locate active frontages, open spaces, desired links and preferred vehicle access points as shown in Figure 33.
12.7.158	New development should comply with site specific controls as shown in Figure 33.
12.7.159	Provide landscaped, deep soil zones and retain significant trees along the north western edge of the site.
12.7.160	New development must establish a chamfer of 3 metres at the corner of Terralong Street and Collins Street for the built-form and the awning.
12.7.161	Utilise the topography of the site to explore the option to provide additional carparking

	for the town centre.
12.7.162	Explore options to locate open space in the northern corner of the site.
12.7.163	Loading/ service access should be provided off the vehicular access laneway and not off Terralong Street or Collins Street.
12.7.164	If residential uses are proposed, provide a mix of dwelling sizes to encourage diversity.
12.7.165	Explore opportunities for roof terraces that capture potential water views.



Figure 33 Site specific development control plan – Kiama Leagues Club

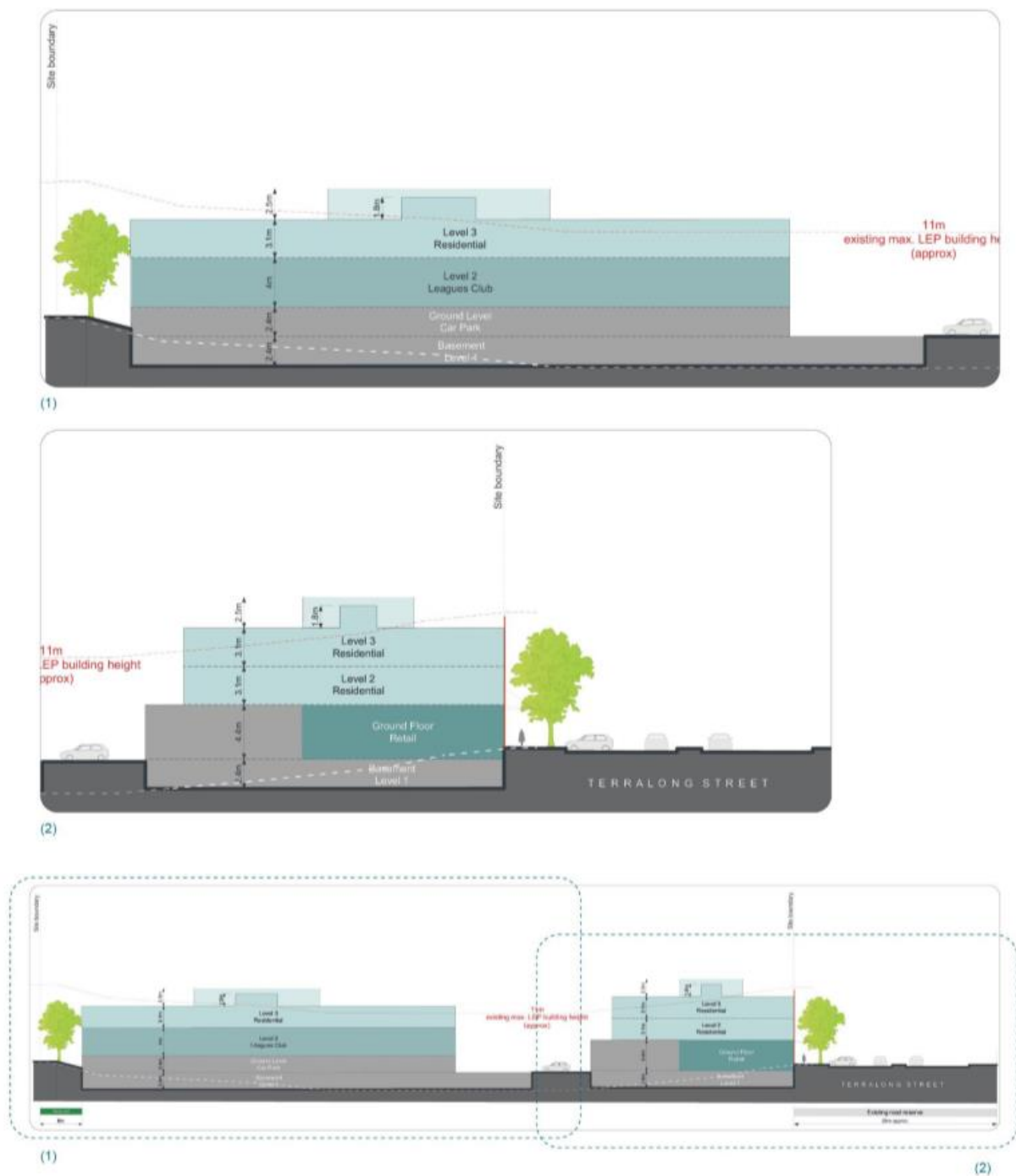


Figure 34 Kiama Leagues Club Built Envelope Section A

Site D: Kiama Village Shopping Centre

The Kiama Village is the largest shopping centre in the Town Centre and forms the western gateway into town along Terralong Street. As part of the preparation of this DCP an option was explored which considered how retail on this could be increased to accommodate a second supermarket without further compromising activity along Terralong Street and, possibly allowing the development to be staged so that much of the current centre could continue to function during the construction of the expanded retail facilities. The controls seek to prioritise pedestrian connectivity along the main street with an active street edge, while providing ease of access and services to the centre.

Objectives

- O:12.7.114 Ensure any expansion of the centre improves and extends the active frontages along Terralong Street and complements the fine-grain character of the existing streetscape and public domain.
- O:12.7.115 Minimise conflicts between pedestrian circulation, carparking and service access.
- O:12.7.116 Minimise traffic congestion along Terralong Street by providing additional vehicle access points to the site.
- O:12.7.117 Consider the impact of development on views, vehicle movement and amenity along Meares Place.
- O:12.7.118 Minimise visual impact of parking with adequate landscape screening and encourage shared parking uses for surrounding businesses.

Controls	
12.7.166	New development should comply with site specific controls as shown in Figure 35.
12.7.167	Primary active frontages should be provided along Terralong Street for a minimum of 50% of this frontage.
12.7.168	Explore options for additional vehicular access into the site to minimize congestion along Terralong Street.
12.7.169	Create pedestrian entries from Meares Place and Terralong Street and enable pedestrian access through the site.
12.7.170	The main pedestrian entry into the shopping centre should be located along Terralong Street and preferably aligned close to the existing pedestrian crossing.
12.7.171	Consider reconfiguration of the Terralong Street and Thomson Street intersection to cater for future vehicular traffic numbers.
12.7.172	Designate a secondary loading/service with limited access off Meares Place to be used exclusively for any additional new supermarket.
12.7.173	Provide screening and landscape buffers as shown in Figure 35 to minimise the visual impact of car parking and loading areas on the public domain.



Figure 35 Site specific development control plan – Kiama Village

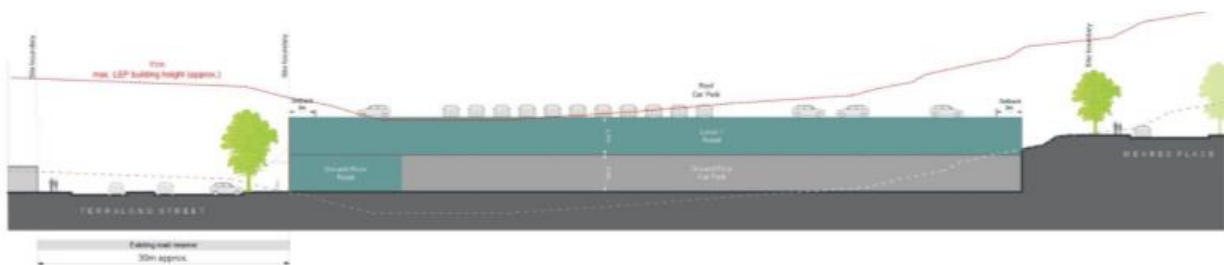


Figure 36 Built Envelope Section A – Kiama Village

Site E: Havilah Place

This site in Havilah Place is located next to the Kiama Leisure Centre, near to the western entry into the town centre. The zoning on this site allows for residential development and, as part of the preparation of this DCP, an option was created for a mix of apartments and terrace houses. This site could also accommodate Seniors Living or Independent Living Units as currently on adjacent sites. The site is close to the Kiama Village Shopping Centre and taller elements capture distant water and mountain views.

Objectives

- O:12.7.119 Create a high quality development with high amenity which is responsive to its location.
- O:12.7.120 Consider the amenity of adjacent sites, including access to sunshine and views from the existing development to the eastern side of the site.
- O:12.7.121 Provide a diverse mix of dwelling types and dwelling sizes.
- O:12.7.122 Provide high quality and well-landscaped public and private open spaces for residents and visitors.
- O:12.7.123 Retain and formalise the east west link along the boundary of the Kiama sports fields.
- O:12.7.124 Minimise conflicts between pedestrian circulation and vehicular access.
- O:12.7.125 Encourage flexible building design to enable future changes in use and internal configuration.

Controls	
12.7.174	New development should comply with site specific controls as shown in Figure 37.
12.7.175	Development should be designed to activate and face Havilah Place and the new shared access route, with multiple locations for pedestrian access.
12.7.176	Consider significant trees on the site and retain if possible.
12.7.177	Minimise the extent of the basement parking and provide deep soil zones with generous tree planting to provide screening, shade and amenity.
12.7.178	The provision of a laneway as shown in Figure 37 should be developed as a shared surface that provides vehicular and pedestrian access.
12.7.179	Retain pedestrian routes that provide public access between the aged care facility, the community garden and the Kiama Leisure Centre.
12.7.180	Explore opportunities for roof terraces with communal open spaces to capture water views.
12.7.181	The floorplate for the tall building should be well-designed and elegant in form when viewed from the immediate and wider context.



Figure 37 Site specific development control plan – Havilah Place

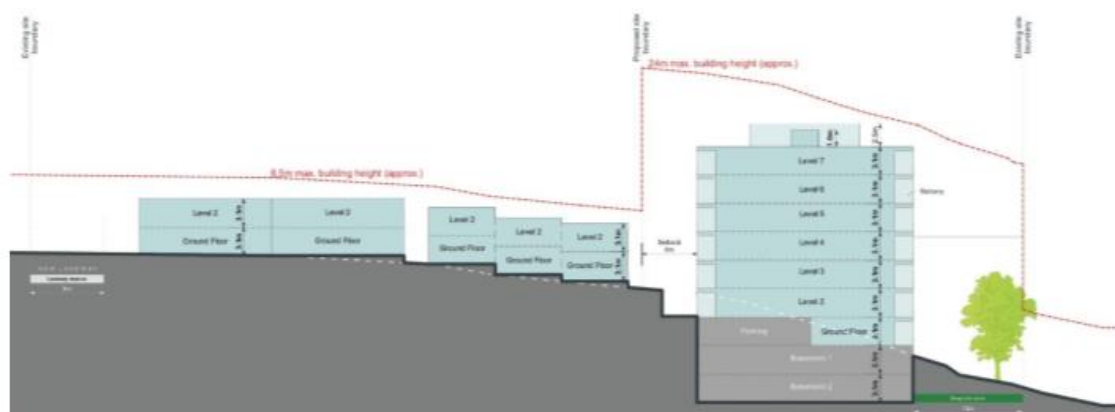


Figure 38 Built Envelope Section A – Havilah Place

Site F: Kiama Surf Lifesaving Club

The Kiama Surf Lifesaving Club building is located on Kiama Surf Beach. There is an opportunity on this site to provide additional amenities such as a restaurant/café and function venue that would benefit from the prominent beachfront location. As part of the preparation of this DCP an option was considered that retained the existing north section of the building and proposed a redeveloped southern section with additional facilities to capitalise on water views. An expansion of the facilities at the surf club may also generate the need for additional parking.

Objective

- O:12.7.126 Create a well-designed waterfront dining opportunity that provides additional amenity for the town centre.
- O:12.7.127 Consider and respond to the adjoining heritage and existing views of the ocean.
- O:12.7.128 Create a long-term high value asset for the community.
- O:12.7.129 Protect the existing Norfolk Pines that are integral to Kiama's coastal character.
- O:12.7.130 Improve pedestrian connectivity to the beach.
- O:12.7.131 Identify a location for additional parking.
- O:12.7.132 Encourage active frontages facing the beach.

Controls	
12.7.182	New development should comply with site specific controls as shown in Figure 39.
12.7.183	Retain all the existing Norfolk Pines on site.
12.7.184	Minimise the area of parking required for servicing and ensure that any additional parking is located where it retains existing trees and minimises any visual impact on

	views from the park
12.7.185	Ensure sufficiently emergency vehicle access and egress is provided.
12.7.186	If the existing north section of the building is retained the new built form is to work with architectural forms (window lines, roof lines, etc) to provide a cohesive overall appearance.
12.7.187	Minimise the impact of the building on heritage values and views from surrounding areas by careful consideration of the building height and roof form.
12.7.188	Well-resolved high quality roof forms with large overhangs are encouraged and may exceed maximum building height if impact on views is considered and design excellence is achieved.
12.7.189	Ensure new development maximises the opportunities provided by the location with orientation and materials selected to maximise views from indoor and outdoor locations in the venue.
12.7.190	Ensure material selection is robust and able to withstand the exposed oceanfront location.
12.7.191	Provide ground floor active use(s) facing the beach with outdoor seating, awnings and shade umbrellas.
12.7.192	Ensure the design provides flexibility for a wide range of activities to occur without compromising the quality of spaces in any configuration.



Figure 39 Site specific development control plan – Kiama Surf Lifesaving Club

Site G: Commonwealth Bank

This prominent site is located at the corner of Terralong Street and Manning Street, opposite the heritage Post Office building and with views of the spectacular Kiama Harbour waterfront. Given the prominent location the challenge is to create a high-quality mixed-use development that is sympathetic to the surrounding heritage streetscape.

Objectives

- O:12.7.133 Create a high-quality mixed use building at a key intersection in the Kiama Town Centre.
- O:12.7.134 Respect the prominent location though the use of high-quality materials and design.
- O:12.7.135 Complement and respect the heritage character of the surrounding precinct and consider the State heritage listed Post Office.
- O:12.7.136 Maintain active frontages with good quality façade treatments at street level and create a new rear laneway for vehicular servicing of lots.

12.7.197	Roof terraces which provide communal open spaces may be considered if supported by heritage considerations and where it does not add to the bulk and scale of the building
12.7.198	High-quality materials and architectural elements should be used.
12.7.199	If residential dwellings are proposed, provide a mix of dwelling sizes to encourage diversity.
12.7.200	Consider reduced building heights and increased setbacks adjoining heritage items and where advised by heritage considerations.
12.7.201	Consider use of sympathetic public art to enhance the appearance of any blank walls, especially where the wall is adjacent to a heritage item.

Controls	
12.7.193	New development should comply with site specific controls as shown in Figure 40.
12.7.194	Facilitate the creation of a new laneway along the rear of properties accessed off Terralong Street.
12.7.195	Primary active frontage should be provided along the entire Manning Street frontage and along a minimum of 50% of the Terralong Street frontage.
12.7.196	All access and parking is to occur off the new laneway. A reduction in parking standards may be considered for high quality development that activates Manning Street. Tandem parking is encouraged.

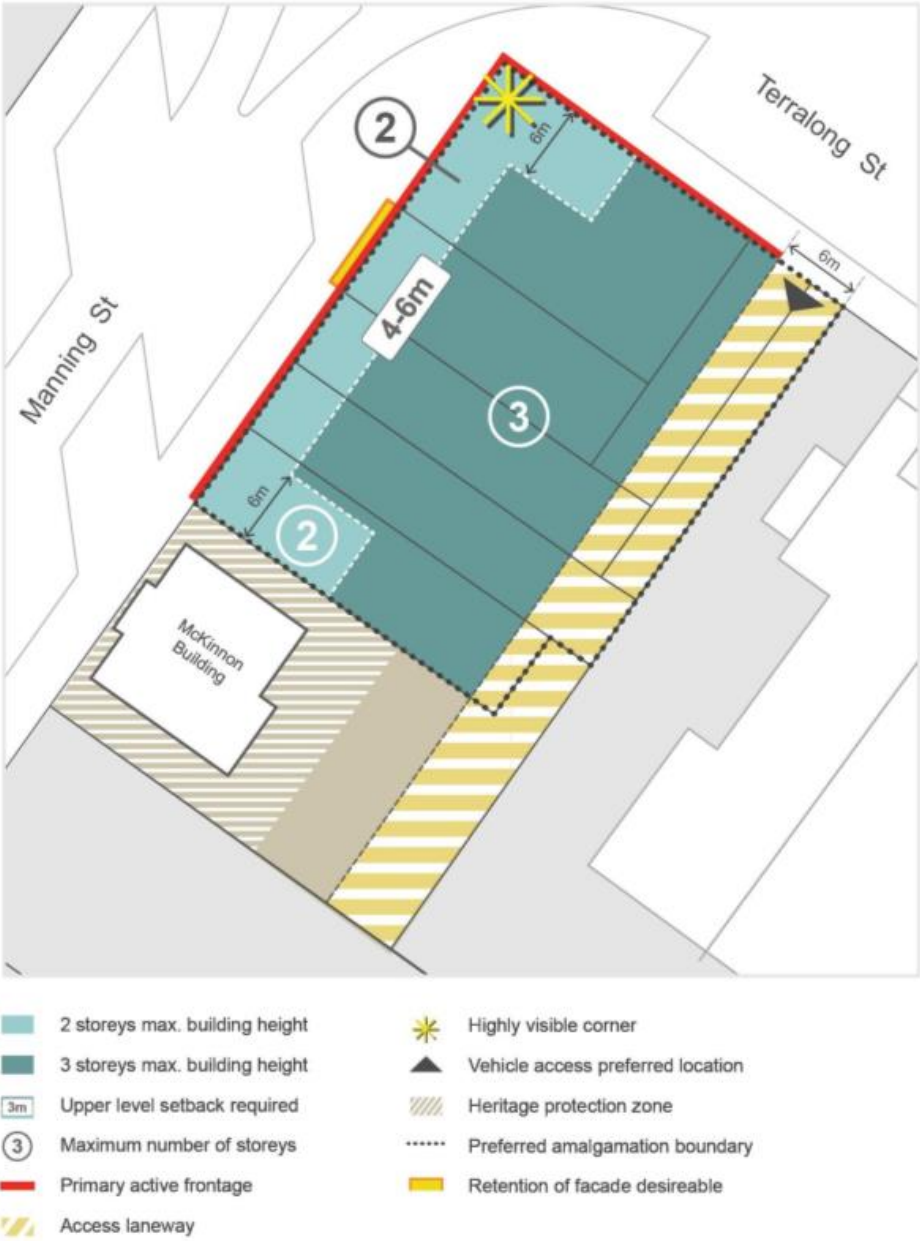


Figure 40 Site specific development control plan: Commonwealth Bank

Corner sites

Due to the grid nature of the Kiama Town Centre, there are a number of sites located on prominent corners, that are highly visible.

These sites usually comprise mixed use developments, with retail / commercial premises on the ground floor and residential dwellings on the upper storeys. In some instances there are heritage items present, which require additional consideration.

Objectives

- O:12.7.137 Create welcoming and inviting high-quality mixed use buildings at key intersections within the Kiama Town Centre.
- O:12.7.138 Maintain a contextual relationship between existing adjacent buildings and any future development.
- O:12.7.139 Highlight the prominent street corner through the use of good materials and distinctive design.
- O:12.7.140 Where a heritage item is present on site, retain and restore the principal building form of the heritage building and sympathetically integrate any future additions.
- O:12.7.141 Maintain active frontages with good quality façade treatments at street level.

12.7.205	Consider the reinstatement of heritage appropriate verandahs, where applicable.
12.7.206	Orient balconies and any residential living spaces to maximise water views.
12.7.207	If residential dwellings are proposed, provide a mix of dwellings on site to encourage diversity.
12.7.208	Retain the corner chamfer for the built form at ground level, where applicable.
12.7.209	Corner turrets, pitched roofs over balconies and other architectural elements that are additional and not integral to the structure of the built-form or do not visually enhance the built-form, are prohibited.
12.7.210	Prominent architectural elements, using high-quality materials and distinctive design should be used to highlight the corner.
12.7.211	Well resolved, high quality roof forms for any corner feature is encouraged and may exceed maximum building height if design excellence is achieved.

Controls

12.7.202	New development should comply with site specific controls as shown in Figure 41. This includes the provision of active frontages, preferred vehicle access points and maximum building envelopes.
12.7.203	Explore opportunities for roof terraces with communal open spaces that capture potential water views.
12.7.204	Ensure that any additions respect the scale and setting of any heritage building on site.



Figure 41 Sample Corner Site development control plan located at 106 Terralong Street. Other corner sites may vary – refer Figure 15 - Figure 18.